

Outbuildings Information Sheet

What is an Outbuilding?

An Outbuilding is an enclosed structure that is not habitable and not attached to a dwelling. They generally refer to a garden shed or an external store.

Do outbuildings require Development Approval (Planning Approval)?

Development approval for your outbuilding is not required if it complies with either ONE of the following categories:

Category	Design Requirements
A. Small outbuilding	<ul style="list-style-type: none"> i) no more than one outbuilding per dwelling site; ii) has no more than two boundary walls (a 'boundary wall' is where the structure is setback 600mm or less from a boundary) iii) does not exceed 10m² in area; iv) does not exceed a wall and ridge height of 2.7m; v) not located within the primary or secondary street setback area; and vi) does not reduce open space and outdoor living area requirements for your zone.
B. Large and multiple outbuildings	<ul style="list-style-type: none"> i) individually or collectively does not exceed 60m² in area or 10 per cent in aggregate of the site area, whichever is the lesser; ii) where the walls are less than 14m long, a 1m setback is required. Where they are more than 14m long, a 1.5m setback is required; iii) does not exceed a wall height of 2.4m; iv) does not exceed a ridge height of 4.2m; v) not located within the primary or secondary street setback area; and vi) does not reduce the open space and outdoor living area requirements for your zone.

Zoning	Outdoor Living Area	Open Space	Street Setback Area
R10	No minimum	60%	7.5m
R12.5	No minimum	55%	7.5m
R20 / R25	30m ²	50%	6m
R30	24m ²	45%	4m
R40	20m ²	45%	4m
R50 / R60	16m ²	40%	2m

Outbuildings are assessed against the Residential Design Codes – Volume 1 (R-Codes) as shown above.

How do I find my zoning?

Your zoning can be found by entering your address into the [Address & Application Assistant](#) on the City's website.

Zone	Residential R30
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What if I live in a Heritage Protection Area?

Mount Lawley, Menora and Inglewood make up the City's Heritage Protection Special Control Area (HPA). Local Planning Policy 3.1 Character Retention Guidelines Mt Lawley, Menora and Inglewood (LPP3.1), provide the requirements for outbuilding design in these areas. LPP3.1 can be found [here](#).

All outbuildings and sheds in the HPA or on heritage listed properties require development approval.

Do outbuildings require a Building Permit?

For class 10a buildings, being sheds, carports, patios and the like, the Building Regulations Schedule 4 provides an exemption from requiring a building permit for:

Construction, erection, assembly or placement of a freestanding class 10a building that-

- Has a floor area not exceeding 10m²; and
- Is no more than 2.4m in height; and
- Is not located in wind region C or D as defined in AS1170.2.

Can I put an outbuilding anywhere on my property?

No, an outbuilding is not permitted to be located within the street setback area for your zone. Please refer to the table on the first page of this information sheet.

Do I need my neighbour's approval?

Neighbour's approval is not required to lodge a development application (planning approval).

The City will assess the application and if required advertise the proposal to affected neighbours if it considered there may be an amenity impact on the adjoining properties.

If you have a strata-titled lot you may require a separate approval under the Strata-Titles Act. Please contact Landgate on 9273 7373 for further information in regards to Strata Titles

How long does the development application process take?

The City has 60 days in which to determine the application as stipulated in the *Planning and Development (Local Planning Scheme) Regulations 2015*. However, applications such as outbuildings normally have a faster turnaround time.

Example 1:

- A proposed garden shed is 2m wide, 3m long and 2.2m high with an area of 6m².
- The proposed shed will be in the back corner of the property, setback 0.5m to the rear boundary and 0.5m to the side boundary.
- There are no other sheds on the property.
- The subject property is zoned 'R30' and has an area of 600m².
- The shed still provides 60% open space for the property and more than 50m² of uncovered outdoor living area.
- In this instance, planning approval **would not** be required and a building permit **would not** be required.

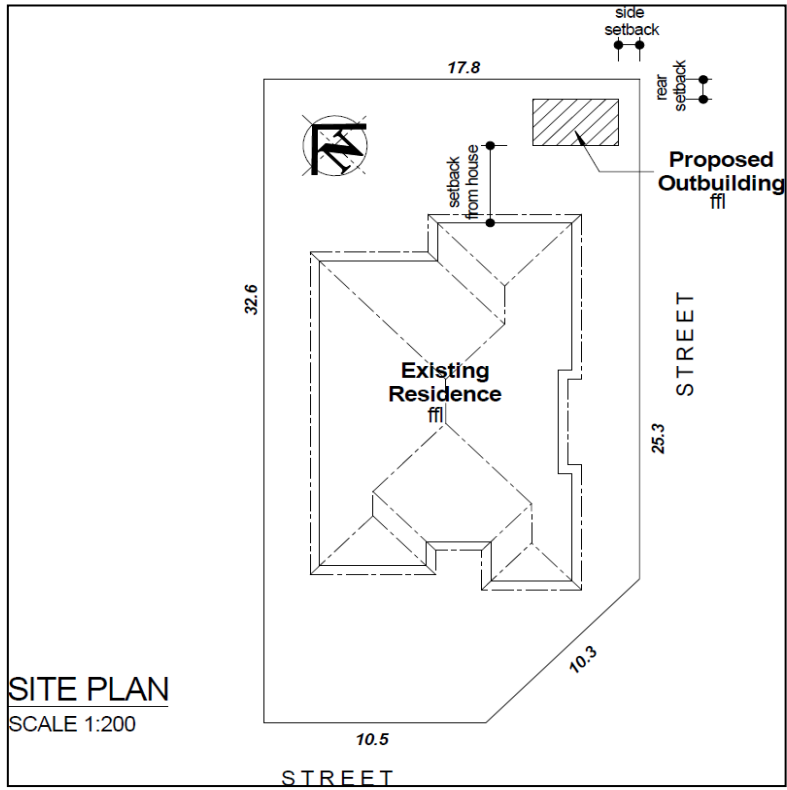
Example 2:

- A proposed garden shed is 9m wide, 3m long and 1.8m high with an area of 27m².
- The proposed shed will be in the back corner of the property, setback 0.5m to the rear boundary and 0.5m to the side boundary.
- There are no other sheds on the property.
- The subject property is zoned 'R40' and has an area of 220m².
- The shed still provides 60% open space for the property and more than 50m² of uncovered outdoor living area.
- However, as the outbuilding area exceeds 10% of the site area – it does not comply with the maximum size requirement.
- In this instance, **both** planning approval and a building permit would be required.

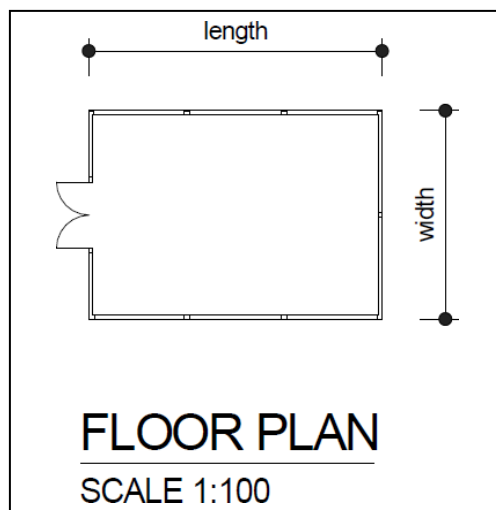
What information is required for a Development Application (Planning Approval)?

- 1) Completed Planning Application Form ([link here](#))
 - a) Signed by each owner of the property
- 2) Planning Application Fee
 - a) Please refer to the fee schedule to determine the relevant fee ([link here](#)).
- 3) Certificate of Title (issued within 6 months)
- 4) Site Plan – one copy – Scale 1:200 showing:
 - a) North Point
 - b) Lot boundaries
 - c) Existing dwelling and other structures on the lot
 - d) Location of the proposed Outbuilding in relation to the lot boundaries and the existing dwelling
 - e) Any changes to the existing ground level / floor level
Refer to the example at the end of this document.
- 5) Floor Plans – one copy – Scale 1:100 showing:
 - a) Proposed layout of the outbuilding
Refer to the example at the end of this document.
- 6) Elevation Plans – one copy – Scale 1:100 showing:
 - a) Front, side and rear elevations showing, height, natural ground levels, finished floor levels of the outbuilding in relation to the existing dwelling.
Refer to the example at the end of this document.
- 7) Additional Information (where applicable, such as a materials and roof colour for properties within the Heritage Protection Area.)

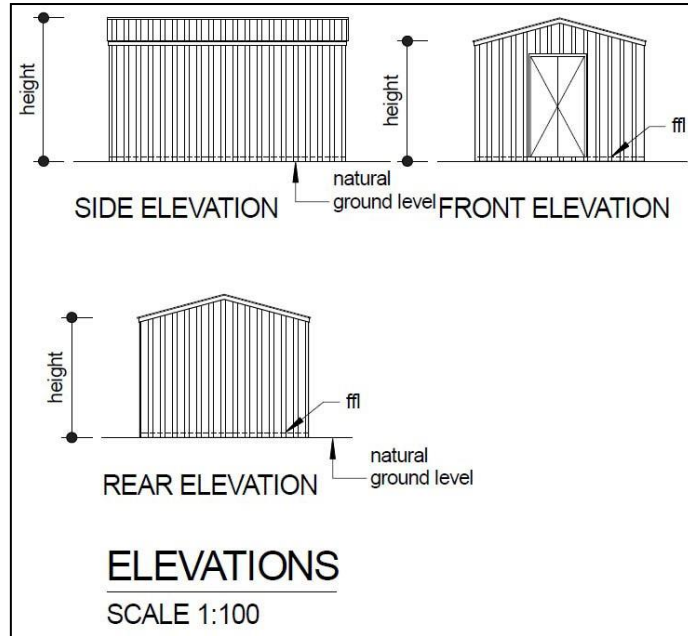
Site Plan:



Floor Plan:



Elevations:



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Disclaimer:

This information is produced by the City of Stirling in good faith and the City accepts no responsibility for any ramifications or repercussions for providing this information. Verification with the original Local Laws, Planning Scheme and other relevant documents is recommended for detailed references.