

Single House

What is a Single House?

A Single House is a dwelling standing wholly on its own green title or strata title lot. It does not include any dwellings on a lot where there is common property.

Do Single Houses require development approval?

Single Houses are exempt from development approval where the development is in strict accordance with the Residential Design Codes (R-Codes) and City of Stirling Local Planning Scheme No. 3 (LPS3) and associated Policies. Any variations to the R-Codes or LPS3 and associated policies require development approval.

However if the Single House is proposed within the Heritage Protection Area development approval is required regardless, even if the development is in strict accordance with the requirements of LPS3, Policies and the R-Codes.

In all instances a Building Permit is required for a Single House.

What distance does a single house need to be from the front boundary?

The setback from the front boundary (primary street) is set out within Column 7 of Table 1 of the R-Codes.

Where is the front boundary on my lot?

You will need to obtain a survey from a licenced land surveyor to determine the location of the survey. You may also want to refer to [StirlingMaps](#) for an aerial view of your lot with suggestive boundaries shown.

How far from the side and rear boundary can I build a single house?

The setback of the single house from the side and rear boundaries depends on the length and height of the walls. Generally, the longer and higher the wall the greater the setback from the boundary is required to be. Please refer to Table 2A and 2B of the R-Codes which specifies the required setbacks for walls.

Can I build a wall on the boundary?

Depending on the R-Code zoning where the single house is proposed, you may be permitted to construct a boundary wall. The length and height of boundary walls are specified in Clause 5.1.3 Lot boundary setback of the R-Codes.

Do I need to provide a certain area for a courtyard?

Yes – each single house must be provided with an outdoor living area. The area required differs for different R-Code zonings, please refer to Column 6 of Table 1 within the R-Codes.

How much open space do I need to provide?

The amount of open space required for each dwelling is specified in Column 6 of Table 1 in the R-Codes. This amount differs across the different R-Code zonings.

What is the maximum height for a Single House?

The City has adopted a Residential Building Heights Policy which specifies the heights of dwellings. The height of the building depends on the proposed roof form. Please refer to Policy 2.6 – Residential Building Heights for more information.

Where is the building height measured from?

The building height is measured from Average Natural Ground Level (ANGL). Please refer to Figure 2 under Clause 4.0 ‘Definitions’ within Policy 2.6 – Residential Building Heights to determine how the ANGL is determined.

Are there any specific guidelines that apply?

Within the City, there are Design Guideline Policies that apply to certain lots. Please call the City on 9205 8555 to confirm if any of these Policies apply to your lot.

I live in a heritage area, does a new dwelling need to match the existing heritage streetscape?

Any development located within the City’s Heritage Protection Area must be in strict accordance with the requirements set out within Policy 3.1 – Character Retention Guidelines Mt Lawley, Menora and Inglewood.

Do I need my neighbour’s approval?

Neighbour’s approval is not required to lodge an application. The City will assess the application and if required advertise the proposal to affected neighbours.

If you have a strata-titled lot you may require separate approval under the Strata-Titles Act. Please contact Landgate on 9273 7373 for further information in regards to Strata Titles.

How long does the planning application process take?

The City has 60 days in which to determine the application or 90 days if the application requires advertising.

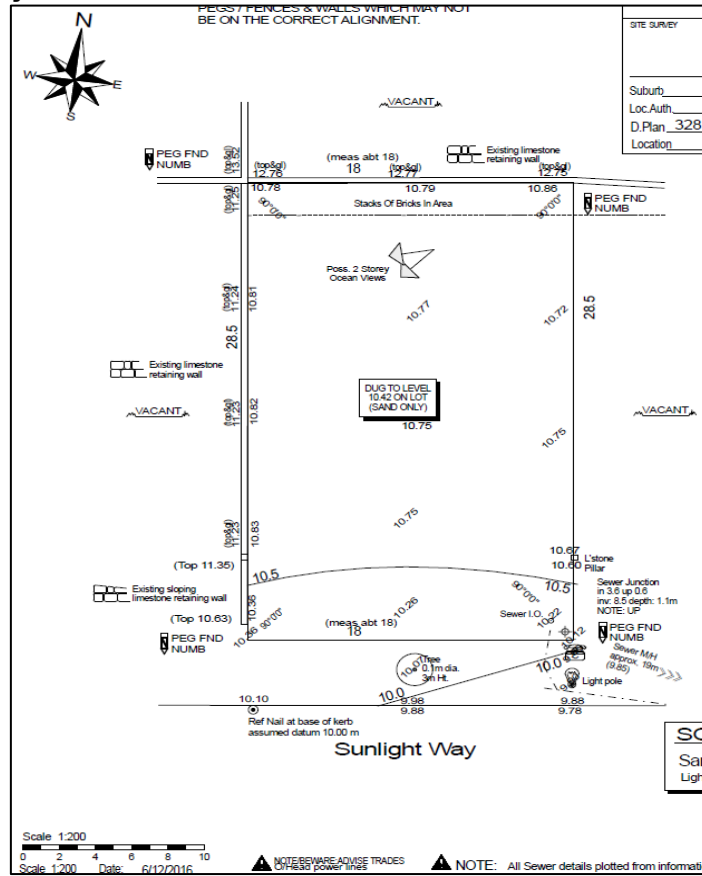
How much does an application cost?

Please refer to the Planning Fees and Charges on the City's [website](#).

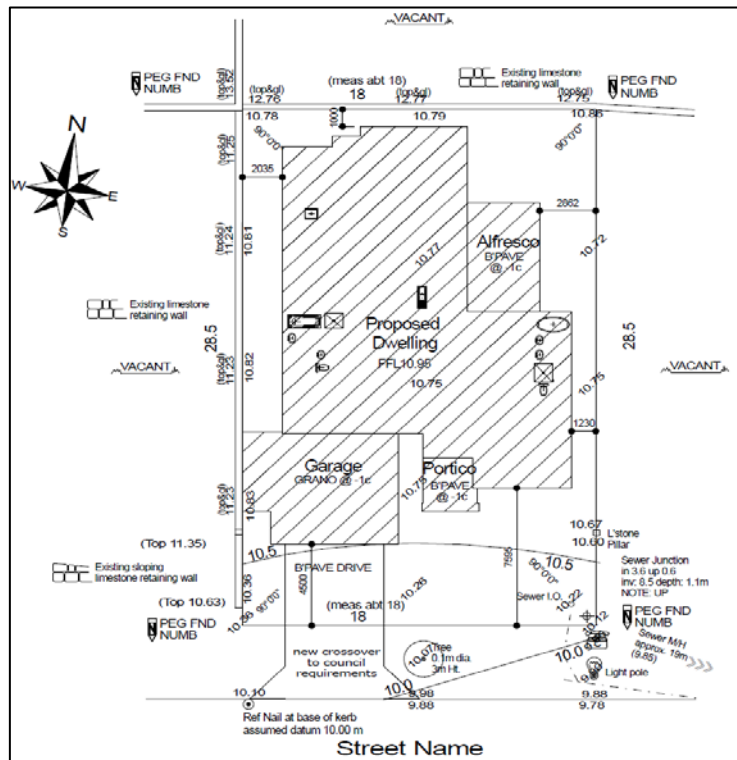
What information is required for a Planning Application?

1. Completed Planning Application Form
 - Signed by each owner of the property
2. Planning Application Fee
 - Please refer to the fee schedule to determine the relevant fee.
3. Certificate of Title (within 6 months)
4. Clean site feature survey endorsed by a Licensed Land Surveyor
5. Site Plan – one copy – Scale 1:200 showing:
 - North Point
 - Lot boundaries
 - Location of the proposed house in relation to the lot boundaries.
 - Existing and proposed ground level / floor levelRefer to the example at the end of this document.
6. Floor Plans – one copy – Scale 1:100 showing:
 - Proposed layout of the single house
 - Lot boundariesRefer to the example at the end of this document.
7. Elevation Plans – one copy – Scale 1:100 showing:
 - Front, side and rear elevations showing, height, natural ground levels, finished floor levels of the single house.Refer to the example at the end of this document.
8. Additional Information (where applicable)
 - Written justification for variations to Deemed-to-comply requirements of the R-Codes
 - Materials and roof colour for properties within the Heritage Protection Area.

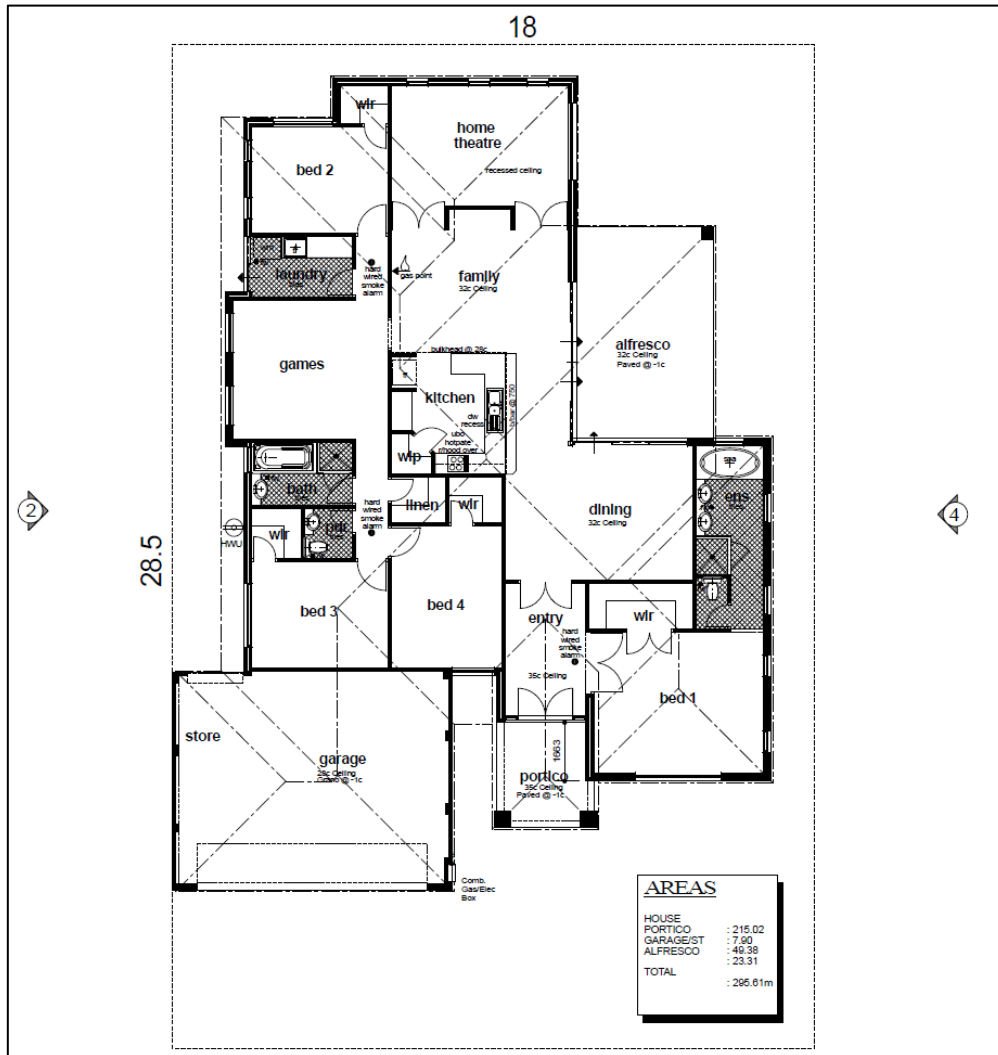
Clean Site Survey



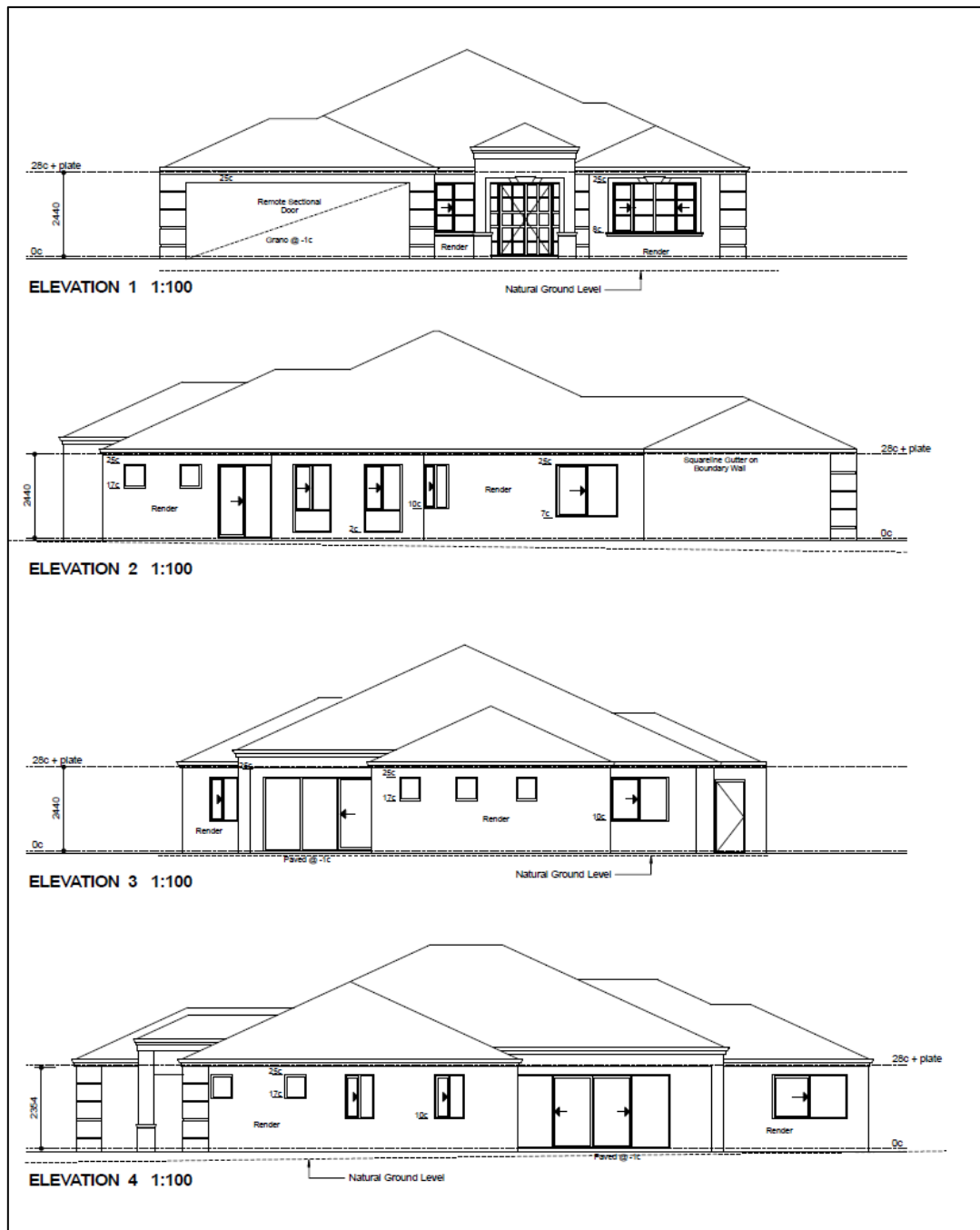
Site Plan



Floor Plan



Elevations



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Disclaimer:

This information is produced by the City of Stirling in good faith and the City accepts no responsibility for any ramifications or repercussions for providing this information. Verification with the original Local Laws, planning schemes and other relevant documents is recommended for detailed references.

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