

### 3.4D ECU DESIGN GUIDELINES STAGE 5B

#### Introduction

Where there is an inconsistency between the provisions of these guidelines and other Policies the provisions of these Guidelines shall prevail.

#### Objectives

- To promote contemporary forms of urban residential development that enhance the character of the surrounding area;
- To promote sustainable residential development that is energy efficient and sensitive to the need for water conservation and other community values;
- To ensure residential design enhances passive surveillance opportunities; and
- To minimise the potential for adverse impact of development on neighbours by applying appropriate design criteria and specific impact mitigation requirements.

#### Guideline Area

All development within the Guideline Area shall be subject to these guidelines, refer Figure 1.



Figure 1 – ECU Design Guideline Area

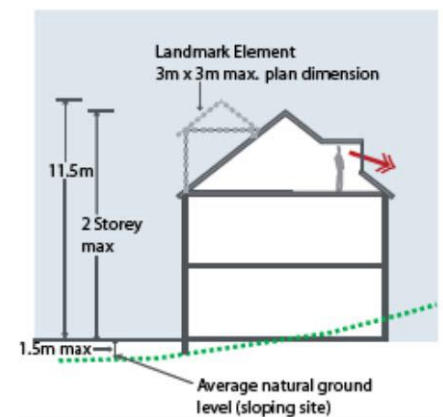
## DESIGN GUIDELINES

### Built Form

#### Building Heights

##### 2 Storey

- As per the City's Height Policy, for 2 storey development except that all maximum permissible heights shall be increased by 0.5m;
- Top of landmark element roof (3m x 3m max plan) shall be 11.5m; and
- At nominated Zero Lot Lines for R30 lots the maximum height for walls constructed up to the boundary is 3.3m with the maximum wall length to be as permitted by the R-Codes.



**Figure 2**  
**2 storey building height**

#### Roofing

Conventional pitched roofs (where installed);

- Minimum pitch shall be  $27\frac{1}{2}^{\circ}$ ; and
- Maximum pitch shall be  $42^{\circ}$

#### Walls

Composite of construction materials

- Dominant material i.e. rendered or face brick; and
- Secondary complementary materials i.e. contrasting render/colour, weatherboards, corrugated metal cladding etc.

## **Streetscape**

### **Fencing**

#### Front Fencing

- Corrugated fibre cement, brushwood, timberlap or profiles sheet metal not permitted.

#### Secondary Street Fencing

- To be low or visually permeable for the first 20% of the secondary street boundary from the truncation;
- Balance of secondary street fencing permitted to be solid to 1.8m max height (piers 2.0m max height) predominantly in masonry with finish to be consistent with that of the dwelling;
- Corrugated fibre cement, brushwood, timberlap or profiled sheet metal not permitted.

### **Access & Parking**

- For lots served by a laneway, vehicular access shall be off the laneway. Vehicular access is not permitted off a primary or secondary street;
- For front loaded single dwellings where cars are garaged parallel to the street, the minimum garage front setback may be reduced to 2m provided the elevation is articulated with a minimum of 1 major opening; and
- For front loaded single dwellings the garage shall always be located a minimum of 0.5m behind the dwelling street front alignment.
- Garages for lots 6/7 shall be located as illustrated in section 5.2.
- Garage for lot 36 shall be located as illustrated in section 5.1.

### **Other Considerations**

#### **Store**

- All dwellings shall have a store with a minimum area of 4m<sup>2</sup>, provided under the main roof and accessed from outside or within the garage area.

#### **Outbuildings**

- Any visible outbuildings shall be constructed of wall and roof materials to match the main dwelling.

## SPECIFIC DESIGN GUIDELINES

### R20 Laneway Dwellings

#### 5.1. R20 LANEWAY DWELLINGS

R20 LOTS 27 - 36.

Setbacks	min	max
Front	4m ave (2m min)	5m
Secondary Street	1.5m	
Side (zero lot line)		
- ground floor	nil	
- first floor	as per R Codes	
Side (non zero lot line)	as per R Codes	
Laneway		
- garage	0.5m	1.5m
- first floor over garage	nil	
- residence	1.5m	

#### Maximum Building Height.

The maximum building height shall be 2 storeys as per the City's height policy except that all maximum permissible heights shall be increased by 0.5m.

#### Minimum Open Space.

As per R Codes.

#### Minimum Outdoor Living Area.

As per R Codes.

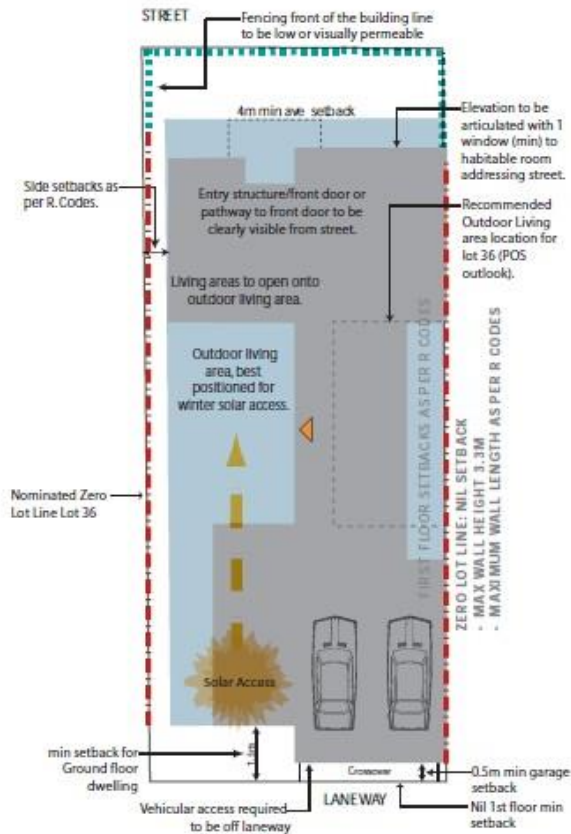
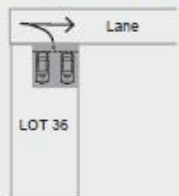
#### Overshadowing

Shall not exceed 30% of the adjoining lot area.

*Note: For lots fronting Cromarty Road where a front boundary deviates in order to retain an existing tree(s) within the verge, (which would otherwise have been located within a lot) the minimum front setback for that lot shall be 4m ave (2m min) from the front boundary alignment of the balance of lots as if no deviation has occurred.*

#### Lot 36 Garage Location

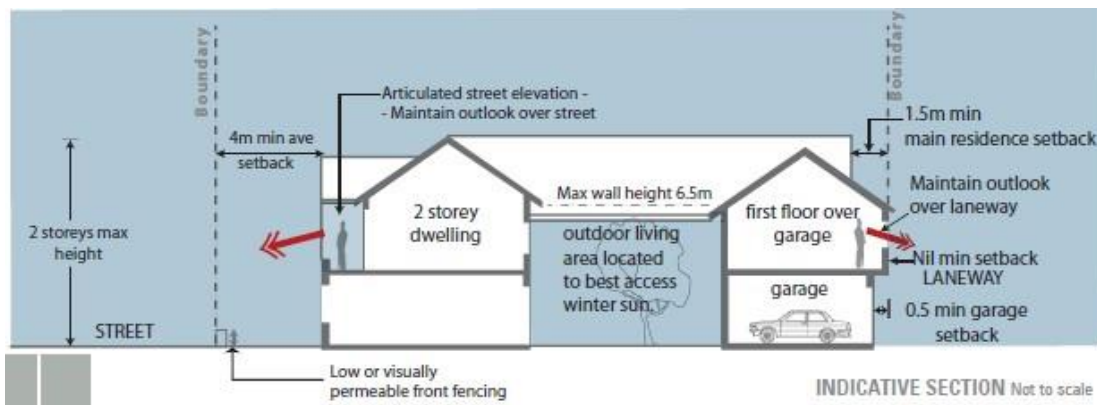
Garage shall be located so as to provide sufficient reversing area to enable vehicles to exit in a forward gear.



INDICATIVE PLAN Not to scale

#### Legend

- Building Envelope
- Indicative Building Footprint
- Low or visually permeable front fencing



INDICATIVE SECTION Not to scale



## R30 Laneway Dwellings

### 5.2 R30 LANEWAY DWELLINGS

R30 LOTS 1-15, 38-47, 80, 381-385, 386-396.

Setbacks	min	max
Front	as per R-Codes	5m
Secondary Street	as per R-Codes	n/a
Side (zero lot line)		
- ground floor	nil	n/a
- first floor	as per R-Codes	n/a
Side (non zero lot line)	as per R-Codes	
Laneway		
- garage	0.5m	1.5m
- ground floor	1.5m	n/a
- first floor	nil	n/a

#### Maximum Building Height.

The maximum building height shall be 2 storeys as per the City's height policy except that all maximum permissible heights shall be increased by 0.5m.

- To top of roof of landmark element. 11.5m

#### Minimum Open Space.

R30. 40% of the site area.

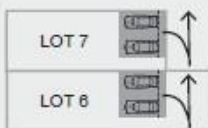
#### Minimum Outdoor Living Area.

R30: 30m<sup>2</sup>

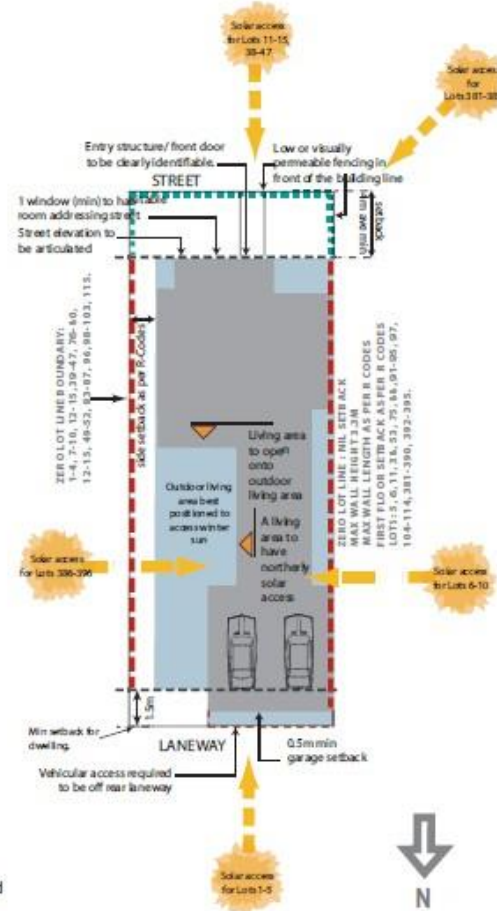
#### Overshadowing

Shall not exceed 40% of the adjoining lot area.

#### Lot 6/7 Garage Location

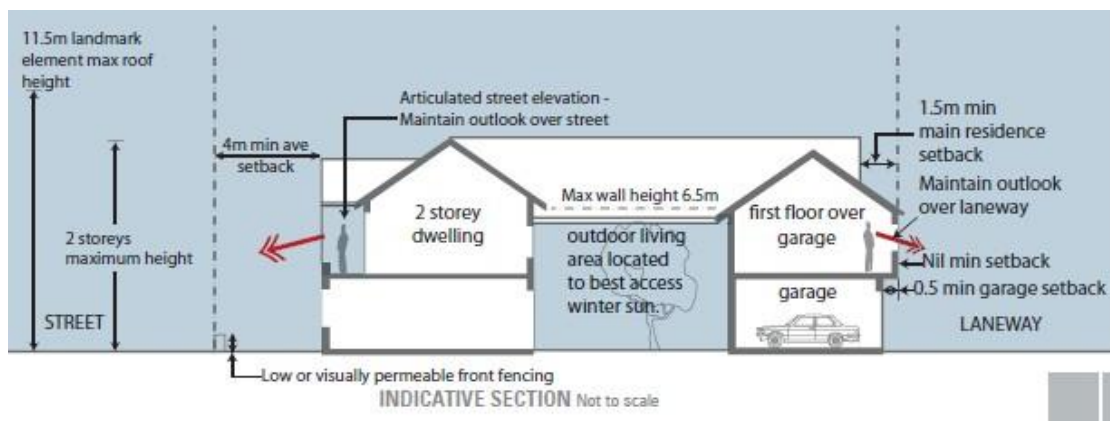


Garage shall be located so as to provide sufficient reversing area to enable vehicles to exit the laneway in a forward gear.



#### Legend

- Building Envelope
- Indicative Building Footprint
- Low or visually permeable front fencing
- Nominated zero lot line



## R60 Grouped Dwellings

**5.3. R60 GROUPED DWELLINGS**

**LOT 37**

Setbacks	min	max
Front	3m ave	5m
Laneway		
- garage	0.5m	n/a
- ground floor (with openings)	1.5m	n/a
- ground floor (no openings)	nil	n/a
- first floor	nil	n/a
P.O.S.	1.5m ave (1m min)	n/a

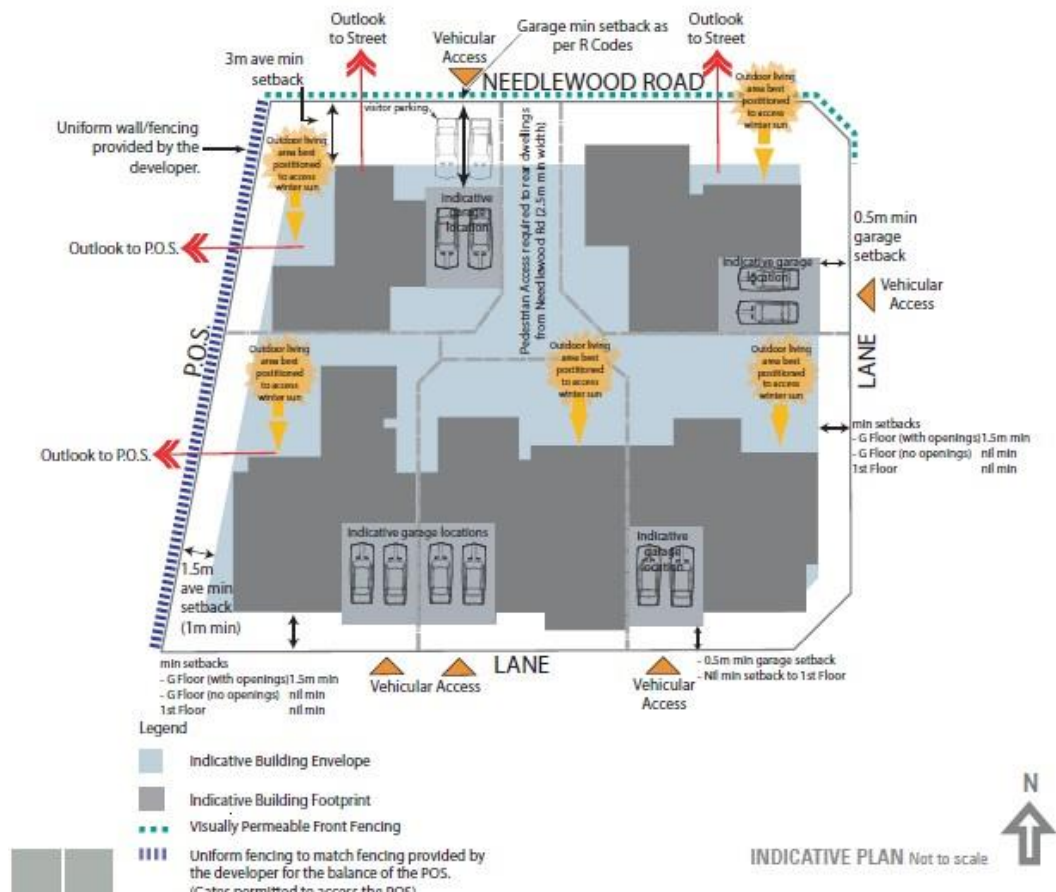
**Minimum Outdoor Living Area**  
-16m<sup>2</sup> (as per R Codes)  
-For dwellings fronting Needlewood Rd the outdoor living area may project into the front setback.

**Parking**  
-Vehicular access to rear lots may be by a common internal driveway or alternatively off the rear/side laneways.  
-Vehicular access is not permitted to be located adjacent to the P.O.S. boundary.

**Maximum Building Height**  
The maximum building height shall be 2 storeys as per the City's height policy except that all maximum permissible heights shall be increased by 0.5m.

**Minimum Open Space**  
- 40% of site area

**Pedestrian Access**  
-Pedestrian access to rear dwellings shall be through the lot.  
-The minimum width for a common pedestrian access shall be 2.5m.



## VARIATIONS

Variations to this Policy will be assessed against the objectives of this Policy.

**OFFICE USE ONLY:**

**Local Planning Scheme No.3 – Local Planning Policy History:**

<b>Action</b>	<b>Resolution Number</b>	<b>Effective Date</b>
Adopted	0611/059	12 Jul 2011

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