

Residential Additions Information Sheet

What are additions?

Any development to an existing dwelling is considered an addition. This may be an upper-level addition to a single storey dwelling, a single storey addition or converting a storeroom to a garage. Additions may be made to a single dwelling, grouped dwelling, or multiple dwelling.

What is the difference between single, grouped, and multiple dwelling?

- A **Single House** is a dwelling standing wholly on its own green title or survey strata lot. It does not include any dwellings on a lot where the is common property.
- A **Grouped Dwelling** (also referred to as a unit or a townhouse) is a dwelling that is one of a group of two or more dwellings on the same lot, and includes a dwelling on a survey strata with common property.
A 'built strata' (such as a typical 'triplex' or 'duplex') will always be considered a Grouped Dwelling. Survey Strata dwellings with no common property are generally considered a 'single house', however if there is a portion of common property, then all dwellings within the strata would be considered 'grouped dwellings'.
- A **Multiple Dwelling** (also referred to as an apartment) is a dwelling in a group of more than one dwelling on a lot where any part of the dwelling floor area is vertically above any part of the floor area of any other dwelling (i.e. the dwellings are 'stacked') but:
 - does not include a grouped dwelling; and
 - includes any dwellings above the ground floor in a mixed-use development.

Do additions require development or building approval?

Residential additions are assessed against the Residential Design Codes (R-Codes), City of Stirling Local Planning Scheme No. 3 (LPS3) and associated policies.

Where additions to a **single house** are in compliance with the requirements of the R-Codes, LPS3 and associated policies, development approval is not required. Any applications proposing variations to the R-Codes, LPS3 and associated policies require development approval.

Approval may not be required to additions to a **grouped dwelling** where they are in strict compliance *Local Planning Policy 6.15 - Exemptions from Requiring Development Approvals*, all Deemed-to-Comply requirements of the Residential Design Codes (R-Codes), the City's Local Planning Scheme No. 3 (LPS 3) and not within the City's Heritage Protection Area.

Please note that additions to **multiple dwellings** (apartments) always require a development application.

Any additions located within the City’s Heritage Protection Area (Mt Lawley, Menora and Inglewood) require development approval and must be in strict accordance with the requirements set out within [Local Planning Policy 3.1 – Character Retention Guidelines Mt Lawley and Menora](#) and [Local Planning Policy 3.1A – Character Retention Guidelines Inglewood](#).

Additions require a Building Permit.

What is a deemed-to-comply (DTC) check?

This is a voluntary process that applies to residential additions to single houses only, in which the City provides advice that will state either that:

- The proposal is exempt from development approval and the proposal can proceed straight to a building permit
- The proposal is not exempt from development approval including an outline of where and how the proposal does not meet the DTC criteria of the R-Codes and any relevant local planning policy.

The City will provide advice to customer within 14 calendar days. Please note a fee of \$295.00 applies for DTC checks for residential addition assessments.

Full details on a DTC check can be found [here](#).

How far from the boundary can I build my addition?

The setback of the additions from the lot boundary will depend on the length and height of the wall. Generally, the longer and higher the wall the greater the setback from the boundary is required. Please refer to Table 2A and 2B of the R-codes which specifies the required setbacks depending if the wall is associated with a major opening or not. The R-Codes may be [accessed online here](#).

My house is single storey, can I add a second storey?

Within residential areas, houses are permitted to be two storeys. Any additions are assessed against the [City’s Local Planning Policy 2.6 – Residential Building Heights](#) and the R-Codes which outlines the permitted heights for additions.

Can I build a wall on the boundary?

The R-Codes permit up to two lot boundaries to be constructed as boundary walls in areas zoned R20 and above. The length and height of the boundary walls are specified in Clause 5.1.3 – Lot boundary setback of the R-Codes.

How do I find my zoning?

Your zoning can be found by entering your address into the [Address & Application Assistant](#) on the City’s website.

Zone	Residential R30
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Do I need my neighbour's approval?

Neighbour's approval is not required to lodge an application. The City will assess the application and if required advertise the proposal to affected neighbours.

If you have a strata-titled lot you may require separate approval under the Strata-Titles Act. Please contact Landgate on 9273 7373 for further information in regards to Strata Titles.

If I build an addition, how much open space do I need to provide?

Any additions will reduce the amount of open space on a lot. The amount of open space required for each lot is specified in Table 1 of the R-codes as summarised below.

Zoning	Min Open Space
R10	60%
R12.5	55%
R20 / R25	50%
R30	45%
R40	45%
R50 / R60	40%
R80	30%

I have a Right-of-Way (Laneway) at the back of my property; how far from the right of way boundary can I build my addition?

Any additions that face a laneway must be in strict accordance with the requirements of the City's [Local Planning Policy 6.5 – Developments and Subdivisions Abutting Rights of Way](#). Please refer to the Policy for specific setback requirements.

How long does the development application process take?

The City has 60 days in which to determine the application as stipulated in the *Planning and Development (Local Planning Scheme) Regulations 2015*.

How much does an application cost?

Please refer to the Planning Fees and Charges which can be found [here](#).

What information is required for a Planning Application?

- 1) Completed Development Application Form (including MRS Form 1)
 - Signed by each owner of the property
- 2) Planning Application Fee

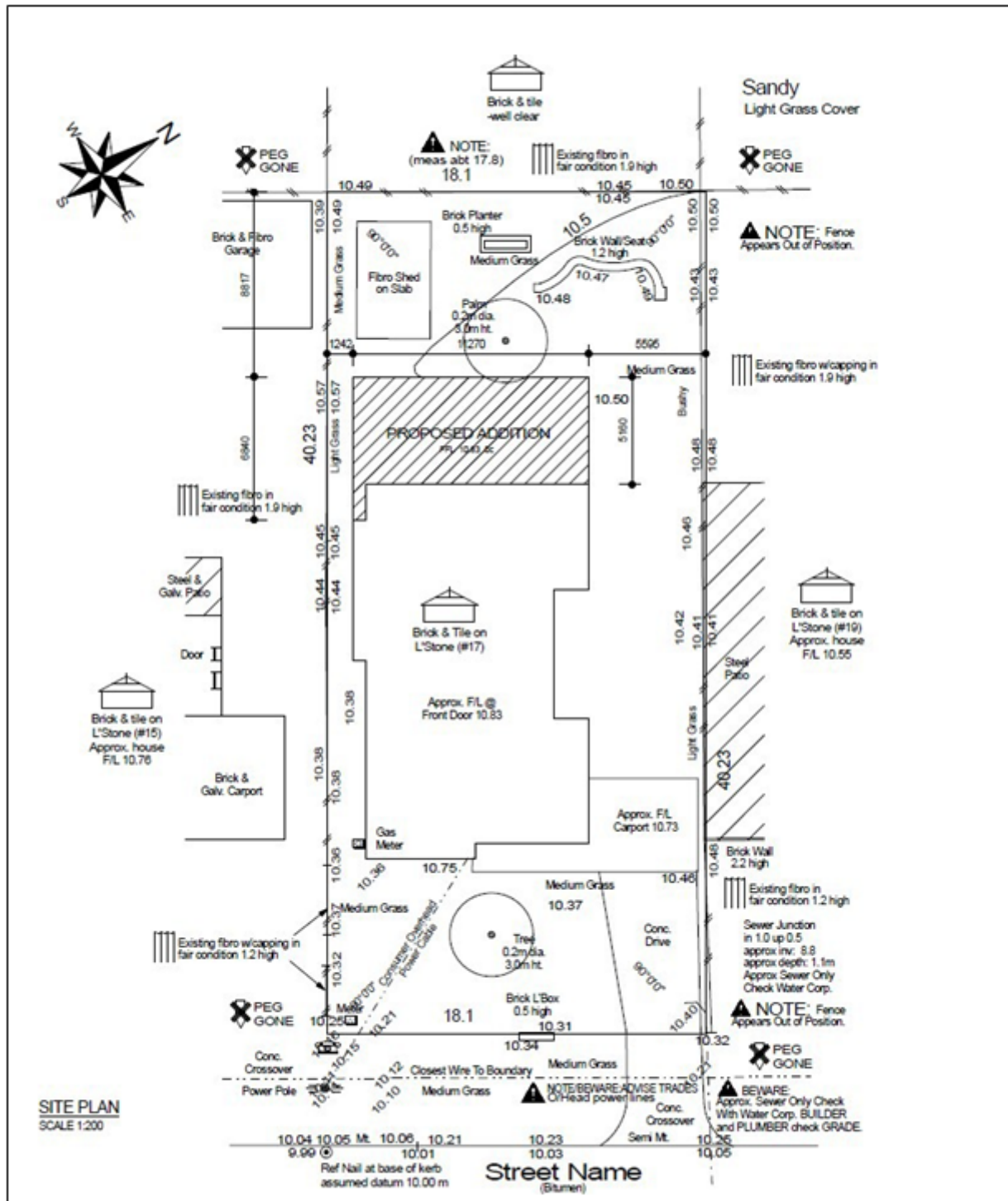
- Please refer to the Planning Fees and Charges form to determine the relevant fee
- 3) Certificate of Title issued by Landgate in the last six months
 - 4) Clean site feature survey endorsed by a Licensed Land Surveyor in AHD
 - 5) Site Plan – one copy – Scale 1:200 showing:
 - North Point
 - Lot boundaries
 - Location of the proposed addition in relation to the lot boundaries
 - Existing and proposed structures within the lot
 - Any changes to the existing ground level / floor level
 - If the cost of works exceeds \$100,000, either one (1) new advanced tree with a 9m² deep soil zone, **or** one (1) significant tree shown to be retained.

Refer to example at the end of this document
 - 6) Floor plans – one copy – Scale 1:100 showing:
 - Proposed room layout and existing internal dwelling layout

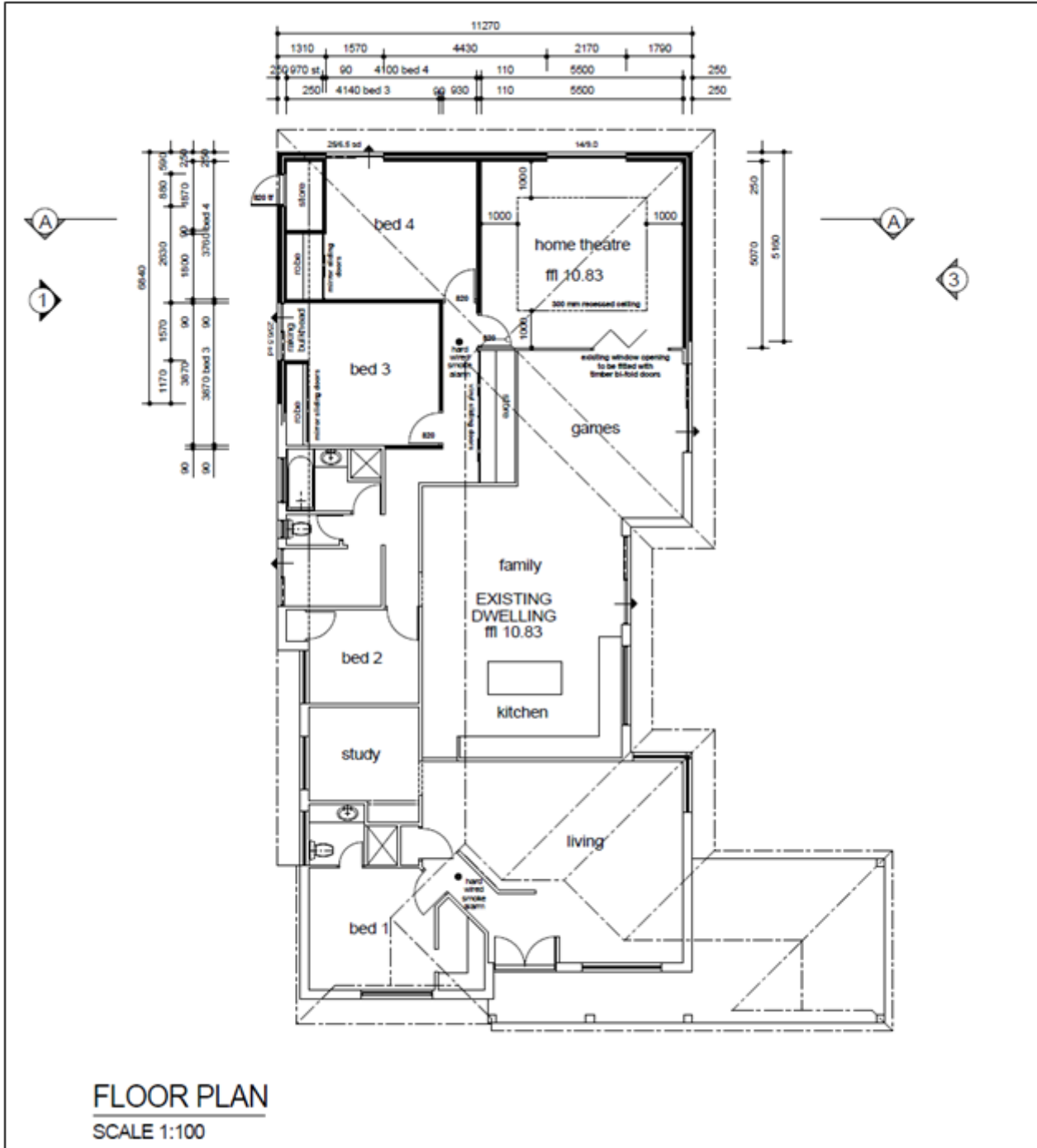
Refer to example to the end of this document
 - 7) Elevations – one copy – Scale 1:100 showing:
 - Front, sides, and rear elevations showing height, natural ground levels and finished floor levels

Refer to the example at the end of this document
 - 8) Additional information (where applicable)
 - Written justification for variations to Deemed-to-comply requirements of the R-Codes
 - Materials and roof colour for properties within the City’s Heritage Protection Area

Site Plan:



Floor Plan:



Elevations

