

Residential Additions

What are additions?

Any development to an existing dwelling is considered an addition. This may be an upper level addition to a single storey or a storeroom to a garage.

Do additions require development or building approval?

Residential additions are assessed against the Residential Design Codes (R-Codes) and City of Stirling Local Planning Scheme No. 3 (LPS3). Where additions are in compliance with the requirements of the R-Codes and LPS3, development approval is not required. Any applications proposed variations to the R-Codes of LPS3 and associated policies require development approval.

However if the addition is proposed to a lot within the Heritage Protection Area, development approval is required regardless if the development is in strict accordance with the requirements of LPS3, Policies and the R-Codes.

Additions require a Building Permit.

My house is single storey; can I add a second storey?

Generally within residential areas houses are permitted to be two storeys. Any additions are assessed against the City's Residential Building Heights Policy which outlines the permitted heights for additions. Please refer to the Policy ([here](#)) for specific requirements.

How far from the boundary can I build my addition?

The setback of the addition from the boundary depends on the length and height of the wall. Generally, the longer and higher the wall the greater the setback from the boundary is required to be. Please refer to Table 2A and 2B of the R-Codes which specifies the required setbacks for walls.

Can I build a wall on the boundary?

Depending on the land zoning where the addition is proposed, you may be permitted to construct a boundary wall. The length and height of boundary walls are specified in Clause 5.1.3 Lot boundary setback of the R-Codes.

Do I need my neighbour's approval?

Neighbour's approval is not required to lodge an application. The City will assess the application and if required advertise the proposal to affected neighbours.

If you have a strata-titled lot you may require a separate approval under the Strata-Titles Act. Please contact Landgate on 9273 7373 for further information in regards to Strata Titles.

Are there any specific guidelines that apply?

Within the City, there are Design Guideline Policies that apply to certain lots. Please call the City on 9205 8555 to confirm if any of these Policies apply to your lot.

I live in a heritage area do the additions need to match the existing dwelling?

Any additions located within the City's Heritage Protection Area must be in strict accordance with the requirements set out within Policy 3.1 – [Character Retention Guidelines Mt Lawley, Menora and Inglewood](#).

If I build an addition, how much open space do I need to provide?

Any additions will reduce the amount of open space on a lot. The amount of open space required for each dwelling is specified in Column 6 of Table 1 in the R-Codes. The amount of open space differs across the different lot zonings.

I have a Right of Way (Laneway) at the back of my property; how far from the right of way boundary can I build my addition?

Any additions that face a laneway must be in strict accordance with the requirements of the City's Policy 6.5 – [Development Abutting Rights of Ways](#). Please refer to the Policy for specific setback requirements.

How long does the development application process take?

The City has 60 days in which to determine the application or 90 days if the application requires advertising.

How much does an application cost?

Please refer to the application fees and charges on the City's [website](#).

What information is required for a Planning Application?

1. Completed Planning Application Form
 - Signed by each owner of the property
2. Planning Application Fee
 - Please refer to the fee schedule to determine the relevant fee.
3. Certificate of Title (within 6 months)
4. Strata plan for all developments within common property with signed strata authorisation (or all land owners) required for any development that falls within common property
5. Clean Site Survey (endorsed by a licensed land surveyor)
6. Site Plan – one copy – Scale 1:200 showing:
 - North Point
 - Lot boundaries
 - Existing dwelling and other structures on the lot
 - Location of the proposed Addition in relation to the lot boundaries and the existing dwelling
 - Any changes to the existing ground level / floor level

Refer to the example at the end of this document.

7. Floor Plans – one copy – Scale 1:100 showing:
 - Proposed room layout and existing internal dwelling layout

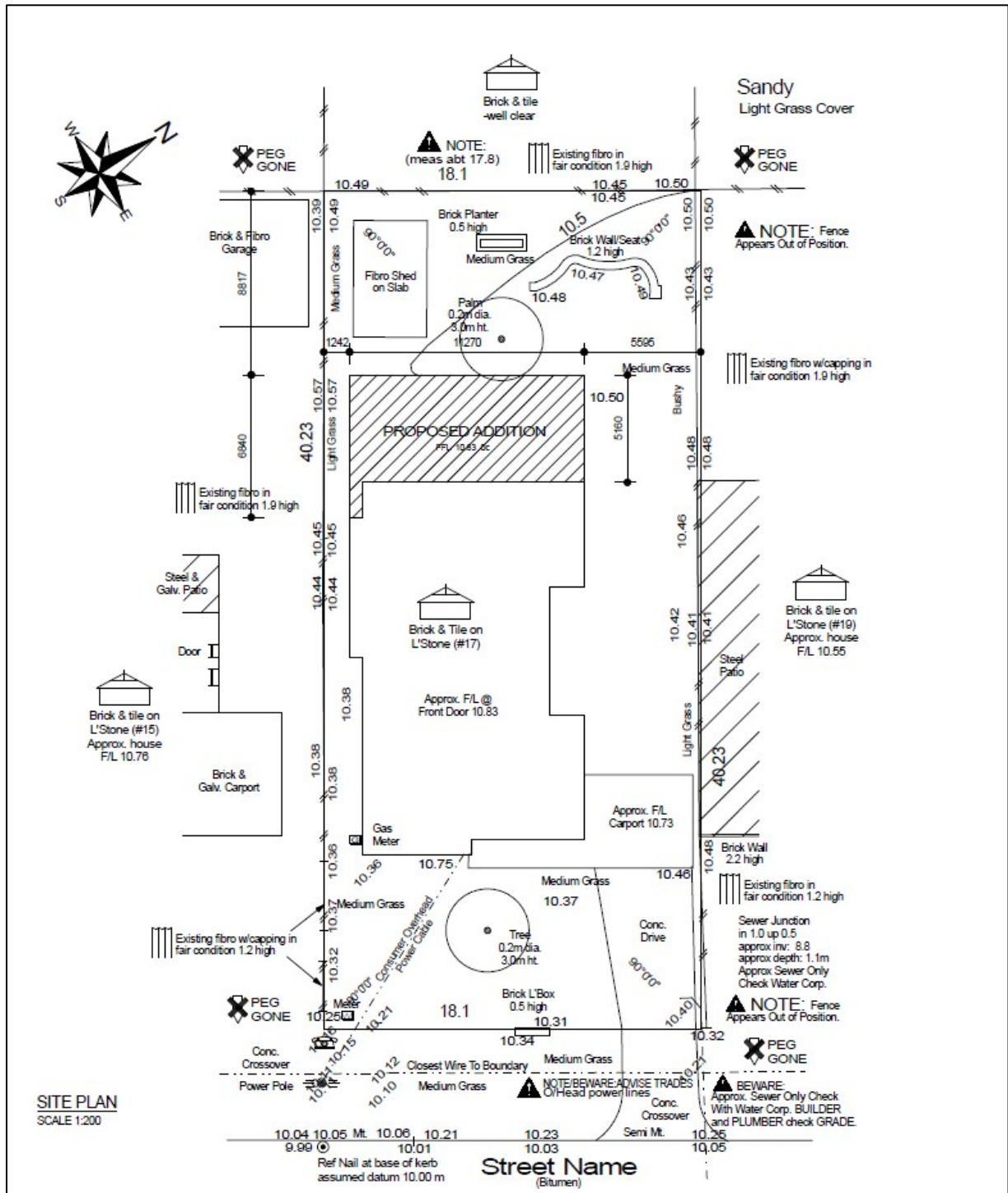
Refer to the example at the end of this document.

8. Elevation Plans – one copy – Scale 1:100 showing:
 - Front, side and rear elevations showing, height, natural ground levels and finished floor levels of the addition in relation to the existing dwelling.

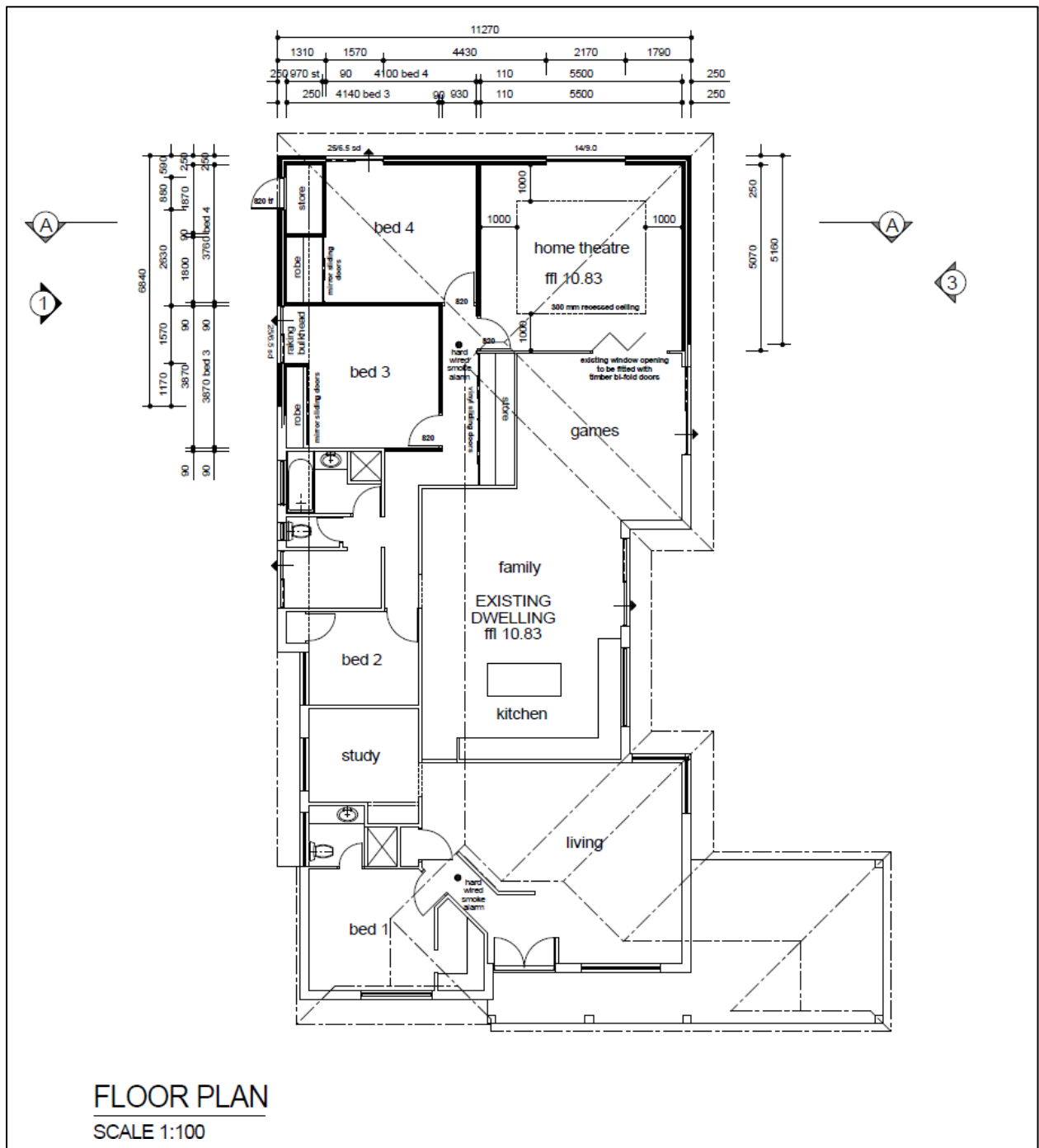
Refer to the example at the end of this document.

9. Additional Information (where applicable)
 - Written justification for variations to Deemed-to-comply requirements of the R-Codes
 - Materials and roof colour for properties within the Heritage Protection Area.

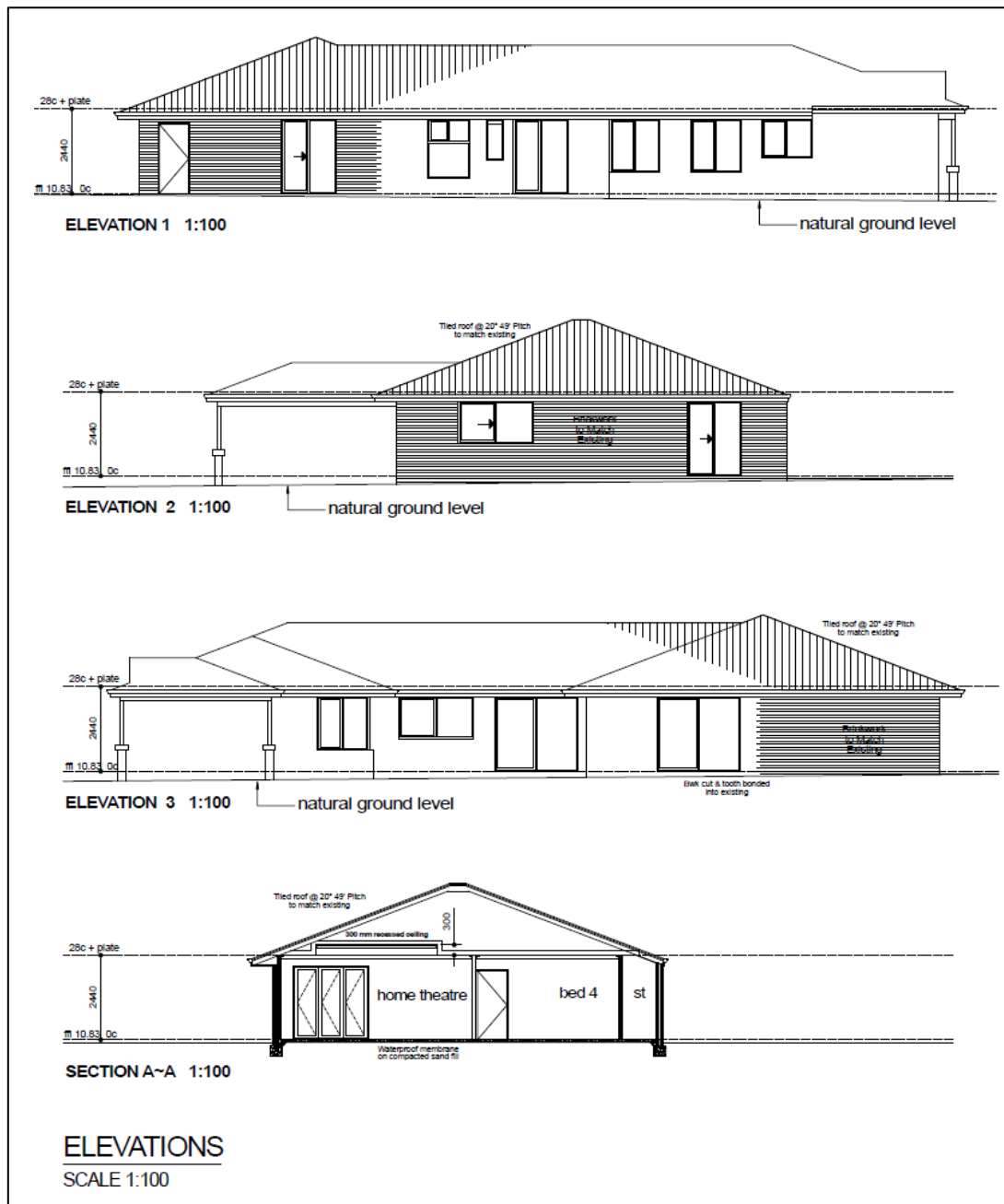
Site Plan



Floor Plan



Elevations



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Disclaimer:

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