

Front Fencing

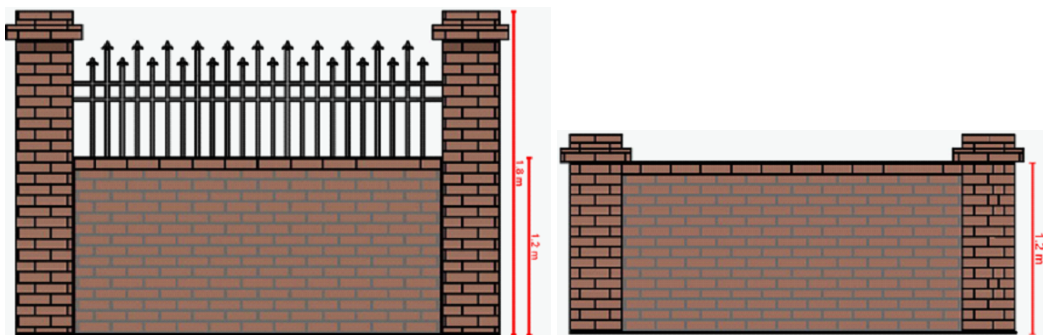
What is a front fence?

A wall, screen or barrier that abuts a street boundary or is located in the primary street setback area (normally anywhere in front of a house) is considered a front fence. This includes fencing on the side boundaries within the street setback area.

What sort of fence can I build?

The Residential Design Codes Clause 5.2.4 specifies the type of fencing permitted in the front setback area. Briefly, the permitted type of fencing is:

- Total height of 1.8m to fence and infill panels
- Maximum 1.2m solid walls
- All fencing above 1.2m must be visually permeable above 1.2m in height above natural ground level. Refer example below:



Can I construct a colorbond fence?

No. Colorbond fencing and fibre cement fencing is not permitted to be located in the front setback area. All colorbond and fibre cement fencing must be located behind the front setback area.

Can I build a solid fence?

Yes to a maximum height of 1.2m. All fencing above 1.2m in height (to a maximum of 1.8m) must be visually permeable above 1.2m in height above natural ground level.

What does visually permeable mean?

Visually permeable is defined within the Residential Design Codes as:

In reference to a wall, gate, door or **fence** that the vertical surface has:

- continuous vertical or horizontal gaps of 50mm or greater width occupying not less than one third of the total surface area;
- continuous vertical or horizontal gaps less than 50mm in width, occupying at least one half of the total surface area in aggregate; or
- a surface offering equal or lesser obstruction to view;

as viewed directly from the street.

Can I build my fence up to my existing driveway?

Generally all fencing within 1.5m of a driveway (yours or neighbours) is required to be setback a minimum of 1.5m from the driveway unless the fence is a maximum height of 0.75m as per Clause 5.2.5 of the Residential Design Codes.

If I want to build a pool at the front of my house, can I build a solid fence?

A solid fence to 1.2m is permitted in the front setback area. However any higher fencing must comply with Residential Design Codes and be visually permeable where the height of the fence is above 1.2m. You would also need to comply with pool fencing requirements.

Do I need development or building approval to build fence?

Development approval is not required for front fencing if the fence is fully compliant with Deemed-to-Comply requirements of the Residential Design Codes (refer to State Planning Policy 3.1 - Residential Design Codes). Development approval is required for front fences within ~~all~~ Heritage Protection Areas. Front fences require a building permit.

How long does the development application process take?

The City has 60 days in which to determine the application or 90 days if the application requires advertising.

How long do I have to build my fence?

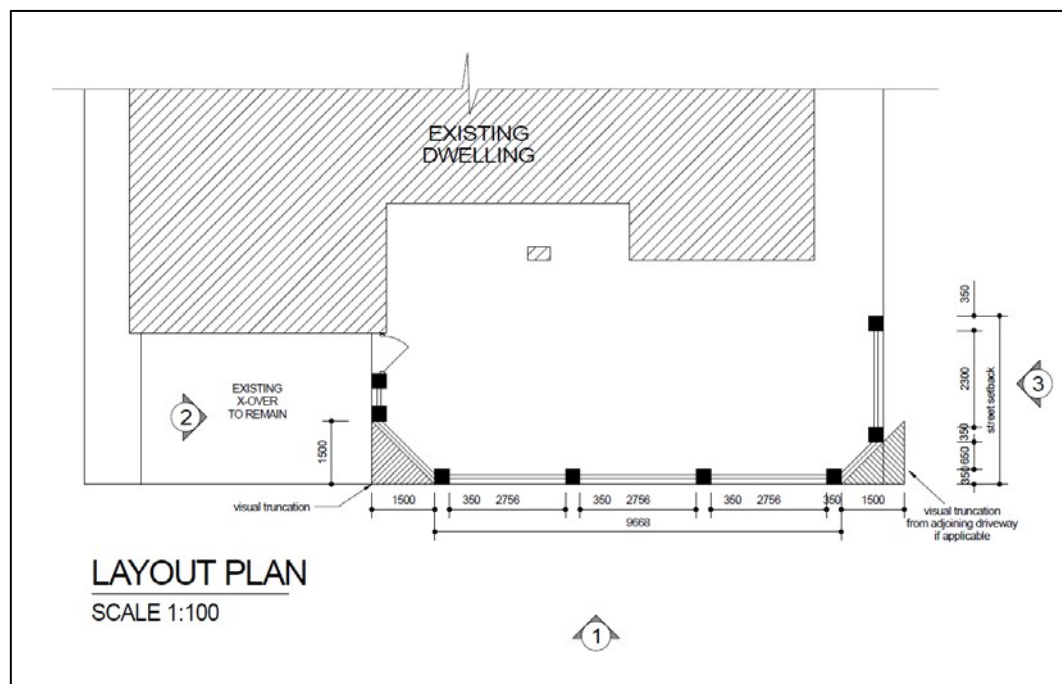
Development approvals are valid for 2 years. The construction of the fence has to be substantially commenced within 2 years of approval.

What information is required for a Development Application?

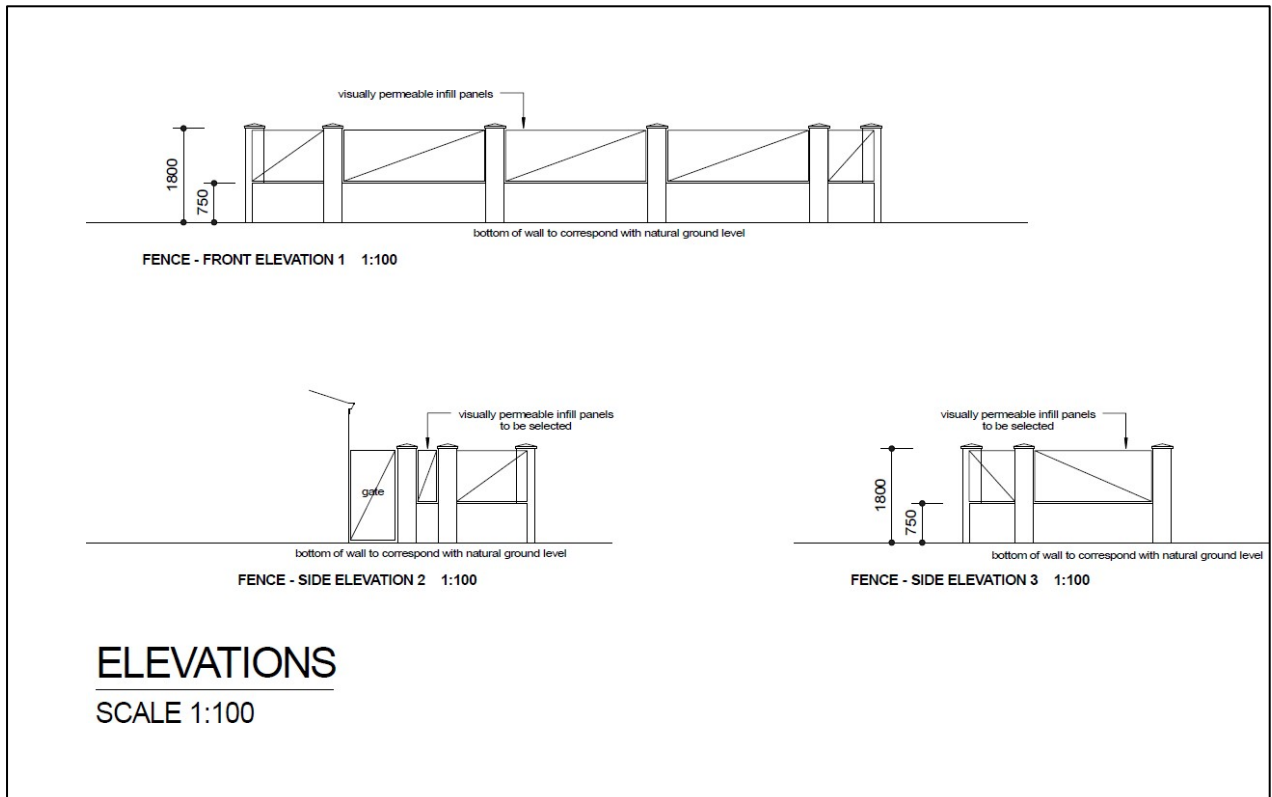
1. Completed Development Application Form
 - Signed by each owner of the property

2. Development Application Fee
 - Please refer to the fee schedule to determine the relevant fee.
3. Certificate of Title issued by Landgate in the last six months.
4. Site Plan – one copy – Scale 1:200 showing:
 - Lot boundaries
 - Existing dwelling and other structures
 - Location of the proposed fence in relation to the lot boundaries
 Refer to the example at the end of this document.
5. Elevations – one copy – Scale 1:100 showing:
 - Fence height
 - Infill panels
 - Ground level
 Refer to the example at the end of this document.
6. Additional Information (where applicable)
 - Written justification for variations to Deemed-to-comply requirements of the R-Codes
 - Materials and colour schedule for properties within the Heritage Protection Area.

Site Plan



Elevations



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Disclaimer:

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