

Management Plan – Unhosted STRA

Property Address: 22 Blackdown Way, Karrinyup, WA 6018

Short Term Rental Accommodation Registration No. STRA6018K89HE9ZP



22 Blackdown Way - Street View

Items addressed in this Management Plan are consistent with the City of Stirling Policy Manual, Section 6.19, Appendix 1 and Appendix 2 and include:

APPENDIX 1 – MANAGEMENT PLAN

METHOD OF BOOKING/CHECK-IN (SYSTEM TO BE USED)

CHECK-IN AND CHECK-OUT TIMES

NUMBER OF OCCUPANTS/VISITORS CONFIRMATION OF LOCATION AND NUMBER OF ON-SITE PARKING

COMPLAINTS MANAGEMENT PROCEDURE ADDRESSING DIFFERENT TYPES OF NUISANCE BEHAVIOUR

CONTACT DETAILS (PROPERTY MANAGER AND/OR EXTERNAL AGENT)

WASTE DISPOSAL

APPENDIX 2 – AMENITY IMPACT STATEMENT

APPLICANT DETAILS

DESCRIPTION OF UNHOSTED STRA

RESPOND

IMPACT ON LOCAL AMENITY

ENGAGEMENT

Method of Booking / Check-in System

- All bookings will be managed via platforms such as Airbnb, Booking.com, and Expedia.
- All guests will be vetted as part of the check in process.
- A secure lockbox will be mounted to the wall adjacent to the front door and will contain the keys to the property.
- Guests will receive access instructions via email and/or SMS 24 hours before arrival.
- A Wi-Fi enabled doorbell camera will be installed at the property. The video from this camera may be reviewed to confirm number of guests arriving and may be used to check against those registered during the booking process.

Check-in and Check-out Times

- Check-in: From 3:00 PM
- Check-out: By 10:00 AM

Number of Occupants / Visitors

- Maximum occupancy: 8 persons (4-bedroom dwelling, 2 persons per room).
- Children under 16 are not counted toward this limit.
- No more than 4 external day visitors are permitted at any time and must vacate the premises by 9:00 PM.

Confirmation of Location and Number of On-Site Parking Bays

- Property Address: 22 Backdown Way, Karrinyup, WA 6018
- On-site Parking: Five allocated off-street parking bays are provided on the premises. Two garage spaces and three spaces on the property driveway. Site plan included with this application.
- No verge parking necessary to meet council proposed minimum for a 4-bedroom, 8-person dwelling.

Complaints Management Procedure

In the event of nuisance behaviour (e.g. noise, aggressive behaviour, light spill, etc.), the following procedure will be enacted:

1. A 24/7 emergency contact (Property Manager) will be available to address issues immediately.
2. Contact details will be provided on signage visible at the property entrance.
3. Guests will be informed at booking and check-in that breaches of house rules (including noise, parties, or exceeding occupancy) may result in immediate termination of the stay without refund.
4. Complaints received from neighbours will be acknowledged within 24 hours and a written response provided within 3 business days.

Contact Details

- Property Managers: Robert Allen and Yulia Koinov
- Phone: 0498 011 959 or 0426 790 925
- Email: contact@luxcitybnb.com
- Emergency Contact: As above

Waste Disposal

- Guests will be provided with clear instructions on waste separation (general, recycling, and organics).
 - Bins will be located in a screened area, inside the gate to the property garden.
 - Waste collection days will be posted in the welcome guide. Guests will be requested to arrange bin placement on the night before collection and retrieval on the day of collection, after the bins have been emptied.
 - A local housekeeper will be engaged to monitor bin placement and retrieval.
-

Amenity Impact Statement – Unhosted STRA

Applicant Details

- Name: Robert Allen
- Contact Number: 0498 011 959
- Property Address: 22 Blackdown Way, Karrinyup, WA 6018

Description of Unhosted STRA

- Accommodation Type: Single Dwelling
- Maximum Number of Guests: 8
- Number of Bedrooms: 4
- Duration of Stay: Minimum 2 nights / Maximum 28 nights
- Facilities Provided: Full kitchen, laundry, Wi-Fi, air conditioning, private courtyard, smart TV, linen.

Respond

The dwelling is located in an area well-suited for short-term rental accommodation, approximately 600 metres from Karrinyup Road and 800m from the Karrinyup Shopping Centre. The property is also within easy walking distance (350m) to public transport.

There nearest medical centre is within 1.5Km and the Osborne Park General Hospital is within 5Km.

The proposed STRA use aligns with existing zoning and surrounding land uses. The dwelling is in a Residential R20 zone that includes short-stay tourist accommodation. The number of STRAs currently registered in the surrounding area are moderate to low.



Snapshot of local Short Term Rental Accommodations taken from DEMIRS website

Benefits associated with the dwelling being used as an STRA include support for local cafes, transport and tourism, and the provision of accommodation for visiting family members of nearby residents. Short term lets will be considered from 2 nights minimum up to and including 3 months for the right tenant.

The location of the dwelling and its form both lend themselves to STRA. The property occupies a corner plot with main frontage to Blackdown Way. The potential for overlooking, noise transmission or other disruption is minimised as a result. There is a covered outdoor entertainment area at the rear of the property that borders Dunster Street, which is equally screened from passers-by.

House rules are communicated to guests during the booking and check-in process and are reminded in our welcome pack. In order to ensure minimal disturbance to neighbouring properties, house rules state:

- No parties
- Maximum permitted number of guests
- Times that day guests are required to leave the property in the evening
- Noise curfews and
- Respect for neighbours

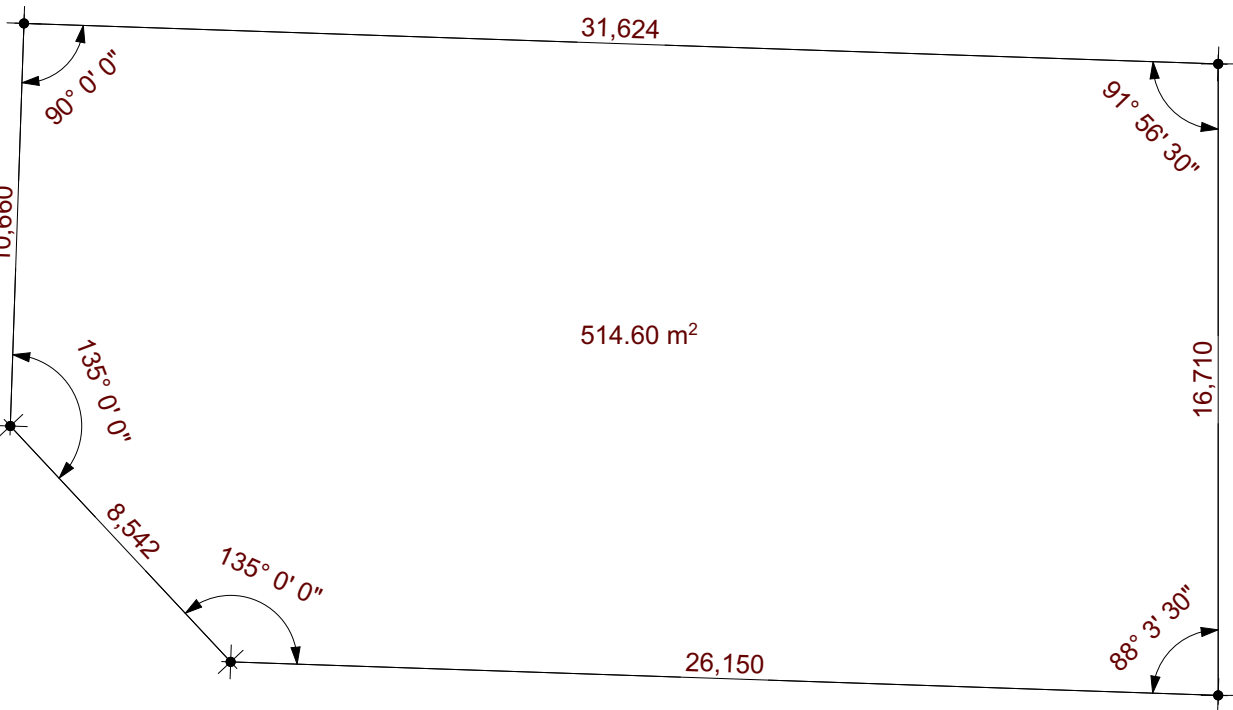
Impact on Local Amenity

- **Noise:** Guests are informed of quiet hours between 9:00 PM and 8:00 AM. Noise monitoring technology will be installed and used at the property. A Minut alarm will be installed in the main living space which will sense noise levels, has built in smoke detection, crowd sensing and indoor climate sensing. The Minut Alarm system will alert the Property Manager in the event predetermined thresholds are exceeded.
- **Traffic and Parking:** The site provides five off-street parking bays which meet policy standards. No on-street parking is required.
- **Security/Lighting:** Motion-sensor security lighting will be installed at the main entry point.
- **Waste Management:** A local cleaner visits after each checkout to manage bin hygiene and ensure waste is disposed of correctly.

Engagement

- Consultation with immediate neighbours is invited.
- The Property Managers are contactable via phone or email, if issues arise, and can be at the property within 15 mins if needed.

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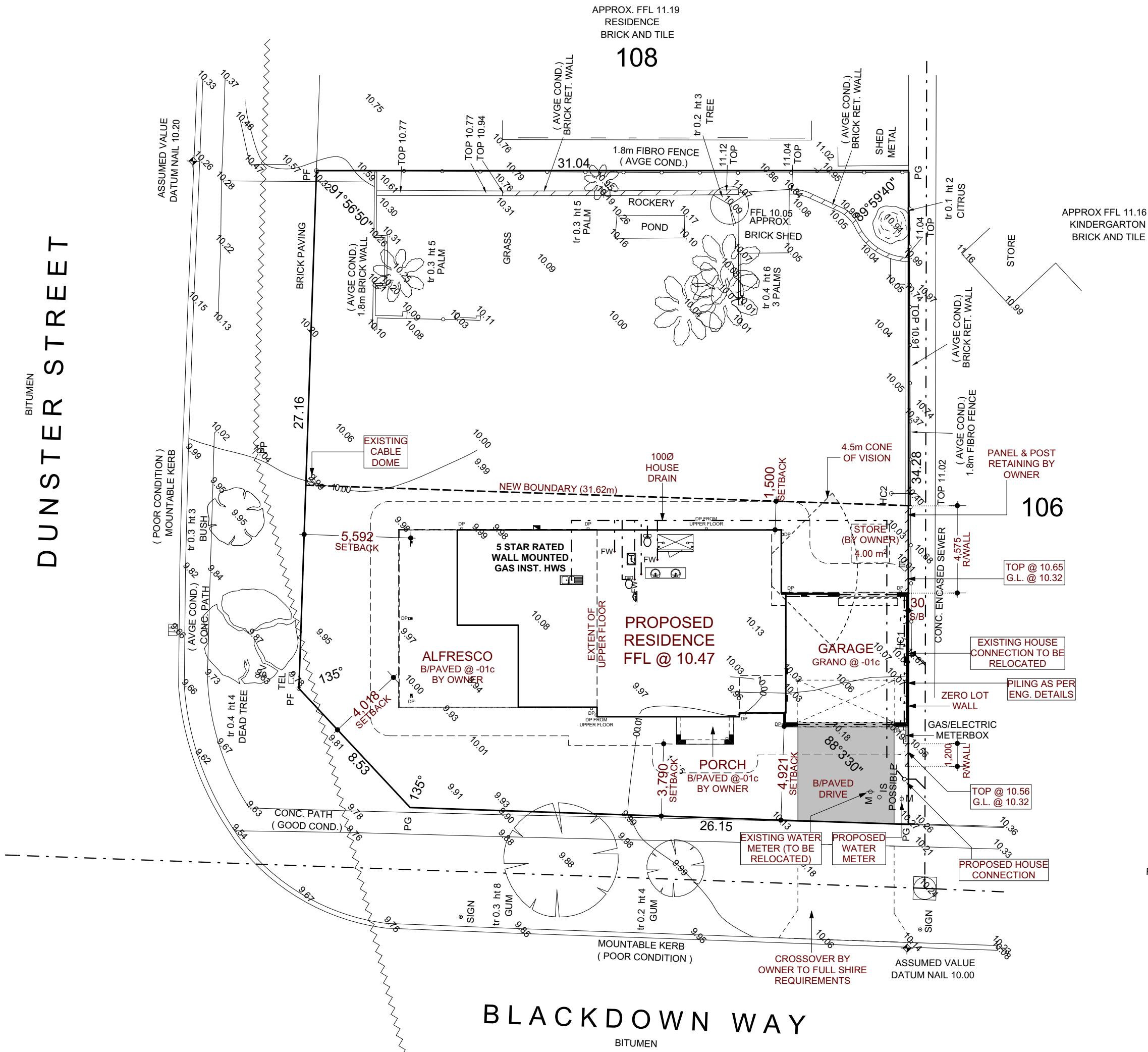


PRECAL SITE PLAN
1:200

SERVICE LEGEND	
POWER	
CONSUMER POLE	CP
POWER POLE	PP
LIGHT POLE	LP
STAY POLE	SP
S. WIRE ANCHOR	SWA
U/G CABLE BOX	
CABLE M/H	
CABLE DOME	
GAS	
GAS MARKER	G
GAS METER	GM
GAS VALVE	GV
SEWERAGE	
SEWER MANHOLE	
INSPECT. SHAFT	IS
INSPECT. OPENING	IO
HOUSE CONNECTION	HC
TELSTRA	
TELSTRA MARKER	T
TELSTRA PIT	TEL
TELSTRA M/H	
DRAINAGE	
SW MANHOLE	DMH
GRATE	
SIDE ENTRY PIT	
WATER	
STOP VALVE	SV
HYDRANT	HY
FLUSH POINT	FP
WATER TAP	TP
WATER MARKER	W
WATER METER	M
SURVEY	
PEG FOUND	PF
PEG DISTURBED	PD
PEG GONE	PG
CONTROL POINT	
DATUM	

SITE RECORDS				
STATUS				
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
SERVICE				
WATER	✓			
SEWERAGE	✓			
GAS	✓			
TELSTRA	✓			
POWER U/G	✓			
Q/H	✓			
AREA: ESTAB. 06/1970				
COASTAL DISTANCE >1Km				
LOT: 107				
AREA: 1047m²				
APPROX. AHD +29.53m				
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.				

HC 1	
SEWER CONNECTION POSITION	
APPROXIMATE ONLY	
SEWER INVERT LEVEL	8.97
SEWER BROUGHT UP	0.00
DEPTH TO CONNECTION	1.11
HC 2	
SEWER CONNECTION POSITION	
APPROXIMATE ONLY	
SEWER INVERT LEVEL	9.18
SEWER BROUGHT UP	0.00
DEPTH TO CONNECTION	0.86



REV	VO #	DRN	DATE	CHK
01	SITING	GD	28.11.12	NW
Sub-contractors to verify all dimensions on site.				
PRELIMINARY PLANS				
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.				
DATED:...../...../.....				
OWNER		WITNESS		
OWNER		WITNESS		
BUILDER		WITNESS		

SITE PLAN
1:200

CAUTION
OVERHEAD POWER LINES

LOCATION	GRANO m²	B'PAVED m²
Alfresco's, Verandah's & Paths	00.00	00.00
Garage, Drive & Crossover	41.81	24.74

NOTE:
• RETAINING WALL(S) TO ENGINEERS DETAILS BY OWNER.
• BOTTOM LEVEL OF RETAINING WALL(S) EXCLUDES RETAINING EMBEDMENT.

SITE COVERAGE
SITE AREA = 514.60 m²
FLOOR AREA = 194.78 m²
SITE COVERAGE = 37.85 %

GROUND COVER
SANDY / GRASS / WEED

TITLE : FEATURE SURVEY

CLIENT : S. LIU & J. SHI

BUILDER : IN-VOGUE

SURVEYED : 15/11/12

MAP REF : 310 E 4

LOT : 107 (#22) BLACKDOWN WAY

SUBURB : KARRINYUP

AUTHORITY : CITY OF STIRLING

PLAN : 9745

C/T : 397/153

NOTE
This PLAN is current at the Date of Survey, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection.

N

5 0 2.5 5 10 15

LINKS

Surveying

P.O. Box 118 Willetton WA 6955

Web: www.surveylink.com.au

Email: links@surveylink.com.au

Ph. (08) 9354 8511 Fax. (08) 9354 8522

SHEET 5 of 7

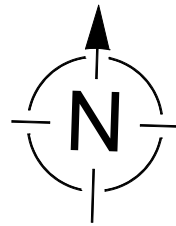
BUILDER REF No 26407

SCALE @ A2 1: 200

DWG No 22507001

REV A

Floor Areas - All Stories			
Floor	Location	Area	Perimeter
1st floor	UPPER FLOOR	88.66	39.36
	BALCONY	4.32	8.88
		92.98 m²	
Ground floor			
	GROUND FLOOR	149.98	54.04
	GARAGE	44.80	26.96
	ALFRESCO	42.09	31.08
	PORCH	4.32	8.88
		241.19 m²	
		334.17 m²	



WIND CLASSIFICATION AS PER A.S. 4055:
N1 - FOR GROUND STOREY OF RESIDENCE
N1 - FOR UPPER STOREY OF RESIDENCE
NOTE: FOR RESIDENCES GREATER THAN
DOUBLE STOREY REFER TO THE ENGINEERS
OFFICE.

NOTE:
• ALL DRAWINGS TO BE READ IN
CONJUNCTION WITH ENGINEERS DETAILS

(S) DENOTES HARD-WIRED
SMOKE DETECTOR


ROOF AREA(s) ON FLAT:
Ground Floor
20° 49' PITCHED ROOF = 97.48m²
25° 38' PITCHED ROOF = 52.48m²
Upper Floor
25° 38' PITCHED ROOF = 109.99m²
TOTAL AREA 259.95m²

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Double Storey
Special

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90002

MODEL N°



2-Storey Designs

65 Walters Drive, Osborne Park, W.A. 6017.
Telephone: (08) 9202 9200.
Facsimile: (08) 9202 9201.
P.O. Box 55, Westfield Shopping Centre,
Innaloo, W.A. 6918.

Reg. Builder N°: 11419. A.B.N. 84 098 664 709. A Division of JWH GROUP Pty Ltd

REV	VO #	DRN	DATE	CHK
01	SITING	GD	14.11.12	FW
		GD	28.11.12	NW

Sub-contractors to verify all dimensions on site.

PRELIMINARY PLANS
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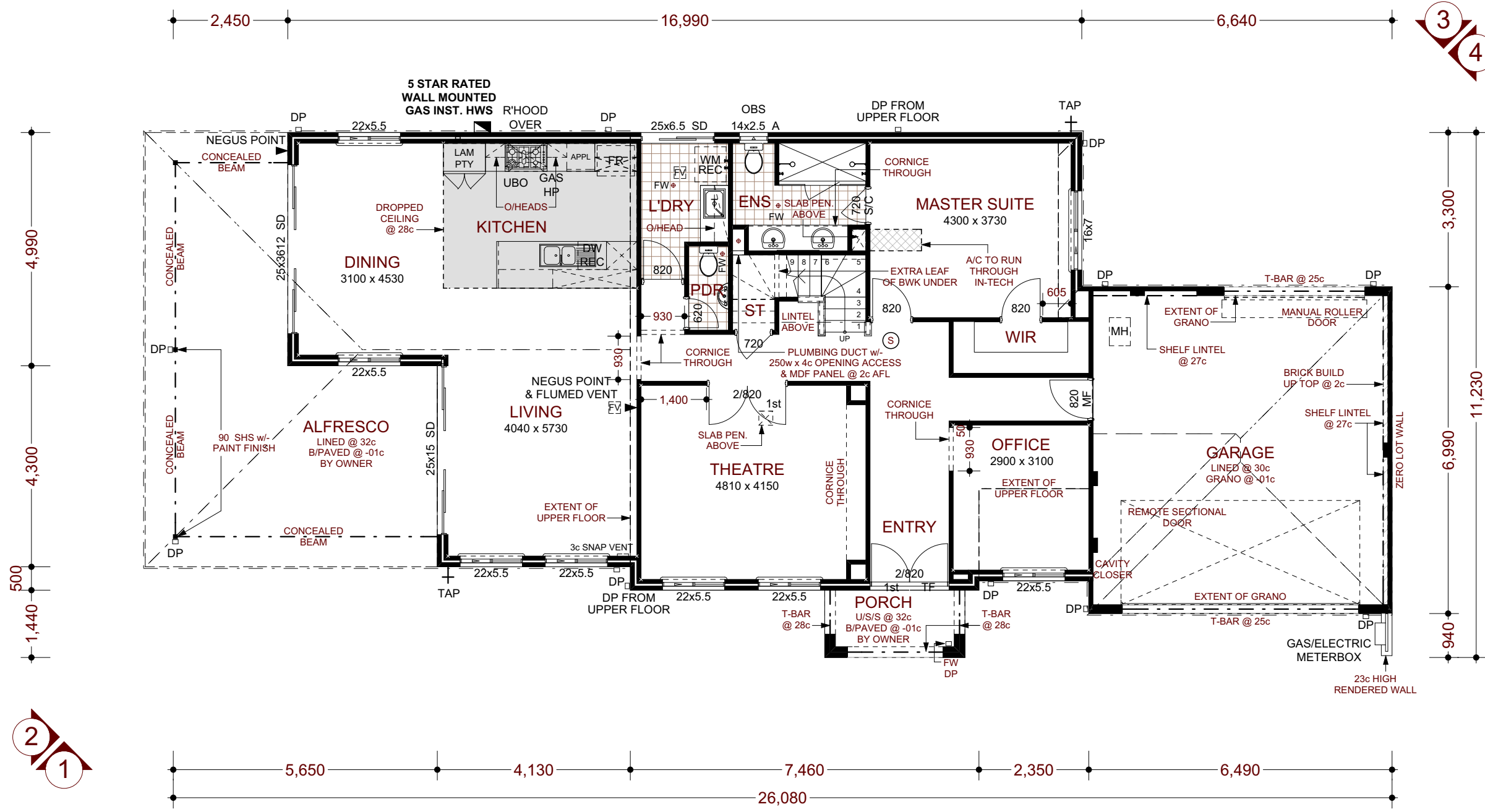
DATED:...../...../.....

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

CLIENT:
S. LIU & J. SHI

ADDRESS:
**LOT 723 (#22)
BLACKDOWN WAY
KARRINYUP**

SHEET N°	1 OF 7
JOB N°	26407
REVISION	DATE
01	28.11.12



GROUND FLOOR PLAN
1:100

STD Drawn By: CB 02June2005 AMEND 1: CB 14Jun06 AMEND 2: JW 18-12-06 AMEND 3: LM 28May08

Floor Areas - All Stories			
Floor	Location	Area	Perimeter
1st floor			
	UPPER FLOOR	88.66	39.36
	BALCONY	4.32	8.88
		92.98 m ²	
Ground floor			
	GROUND FLOOR	149.98	54.04
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	ALFRESCO	42.09	31.08
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BUILDER.....WITNESS.....

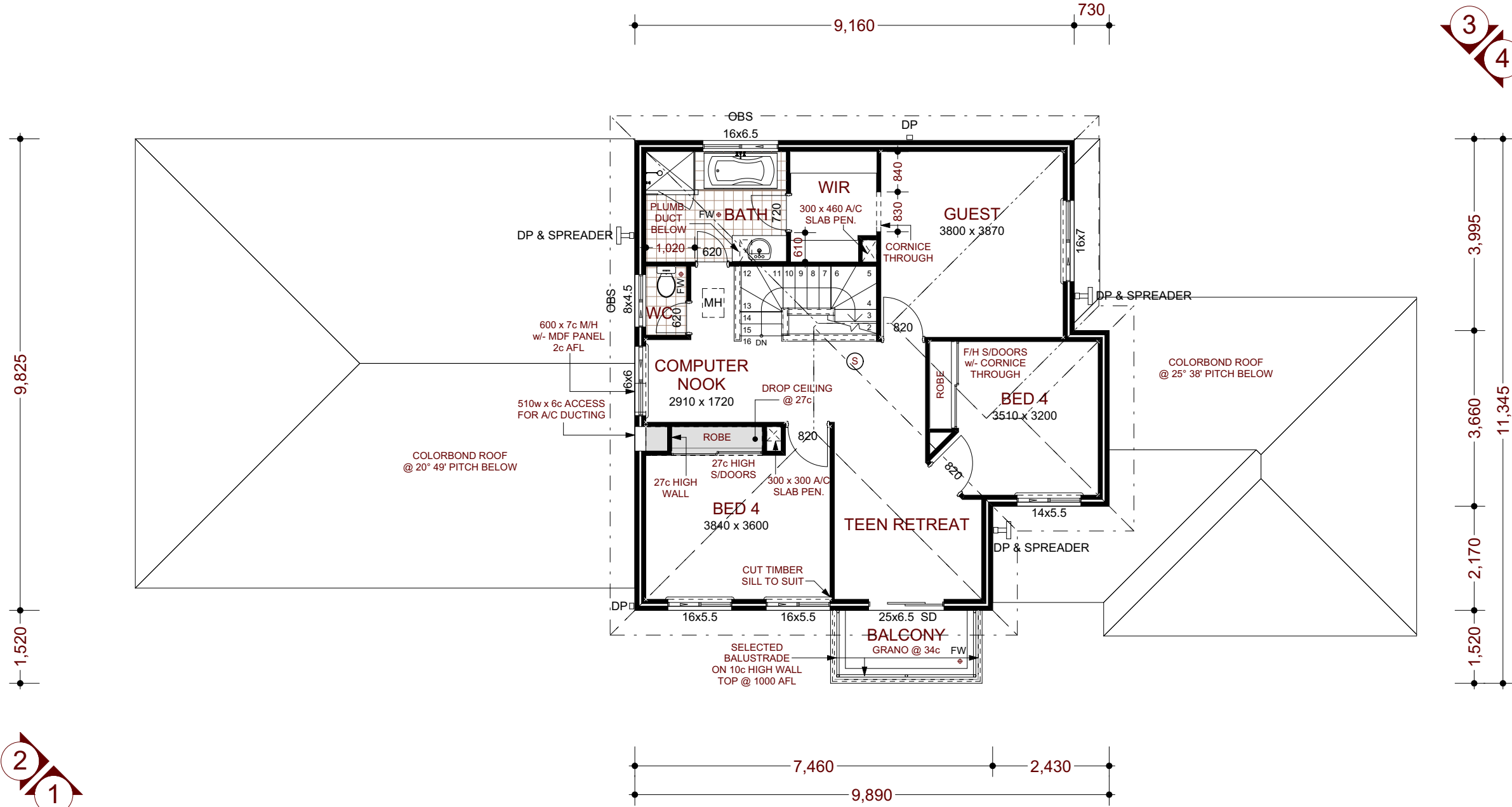
CLIENT:

S. LIU & J. SHI

ADDRESS:

LOT 723 (#22)
BLACKDOWN WAY
KARRINYUP

SHEET N°	2 OF 7
JOB N°	26407
REVISION	DATE
01	28.11.12



2
1

UPPER FLOOR PLAN
1:100

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01	SITING	GD	GD	28.11.12	NW

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OWNER.....WITNESS.....

BUILDER.....WITNESS.....

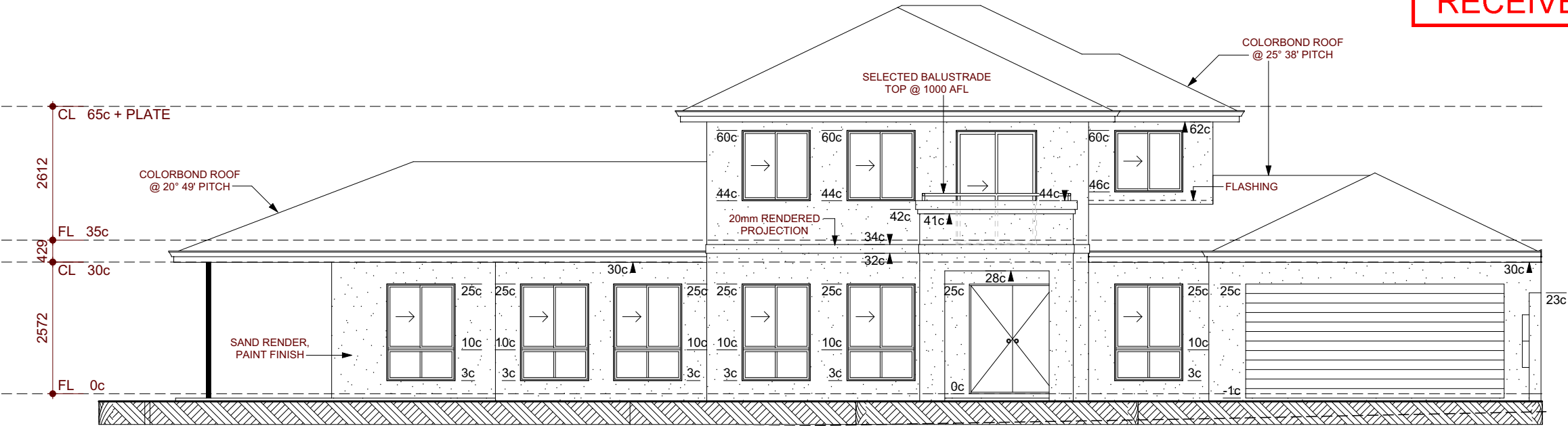
CLIENT:
S. LIU & J. SHI

ADDRESS:
LOT 723 (#22)
BLACKDOWN WAY
KARRINYUP

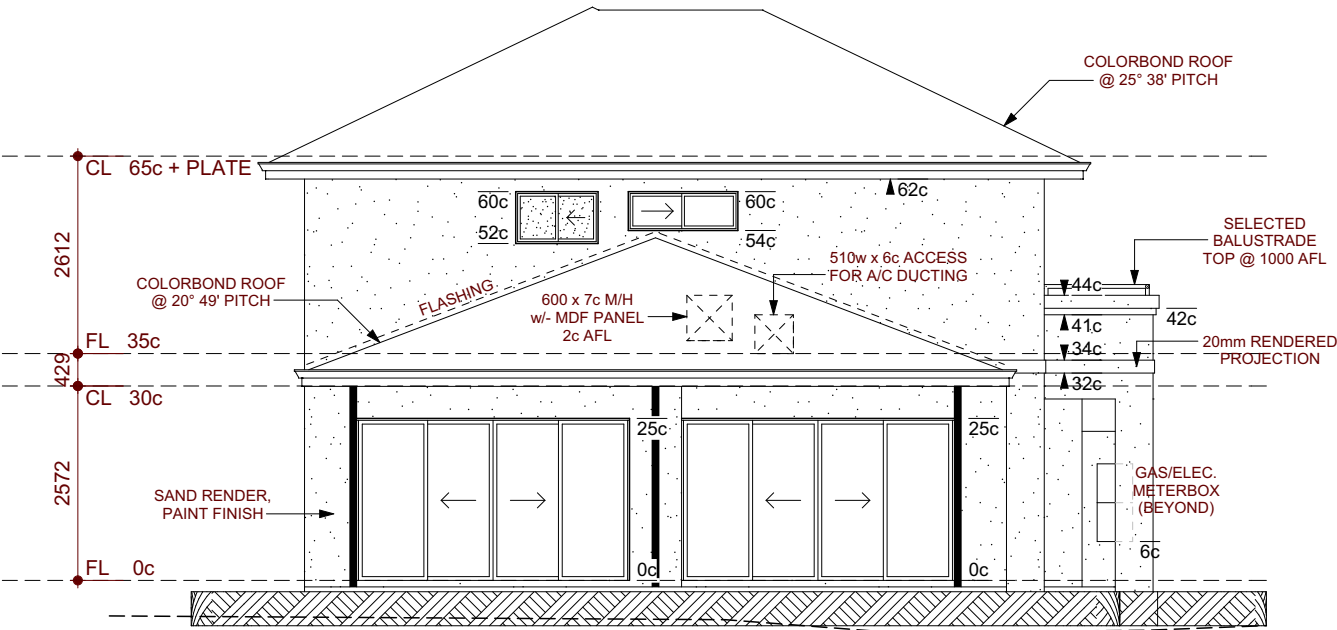
SHEET N°
3 OF 7
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JOB N°
26407

REVISION DATE
01 28.11.12



ELEVATION 1
1:100



ELEVATION 2
1:100

STD Drawn By: CB 02June2005 AMEND 1: CB 14Jun06 AMEND 2: JW 18-12-06 AMEND 3: LM 28May08

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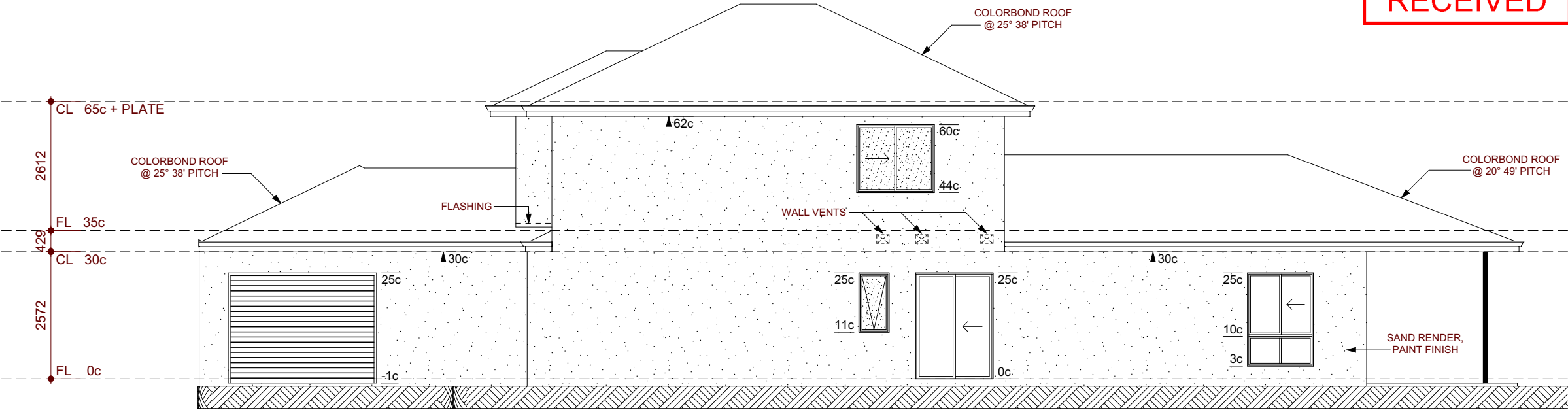
OWNER.....WITNESS.....

BUILDER.....WITNESS.....

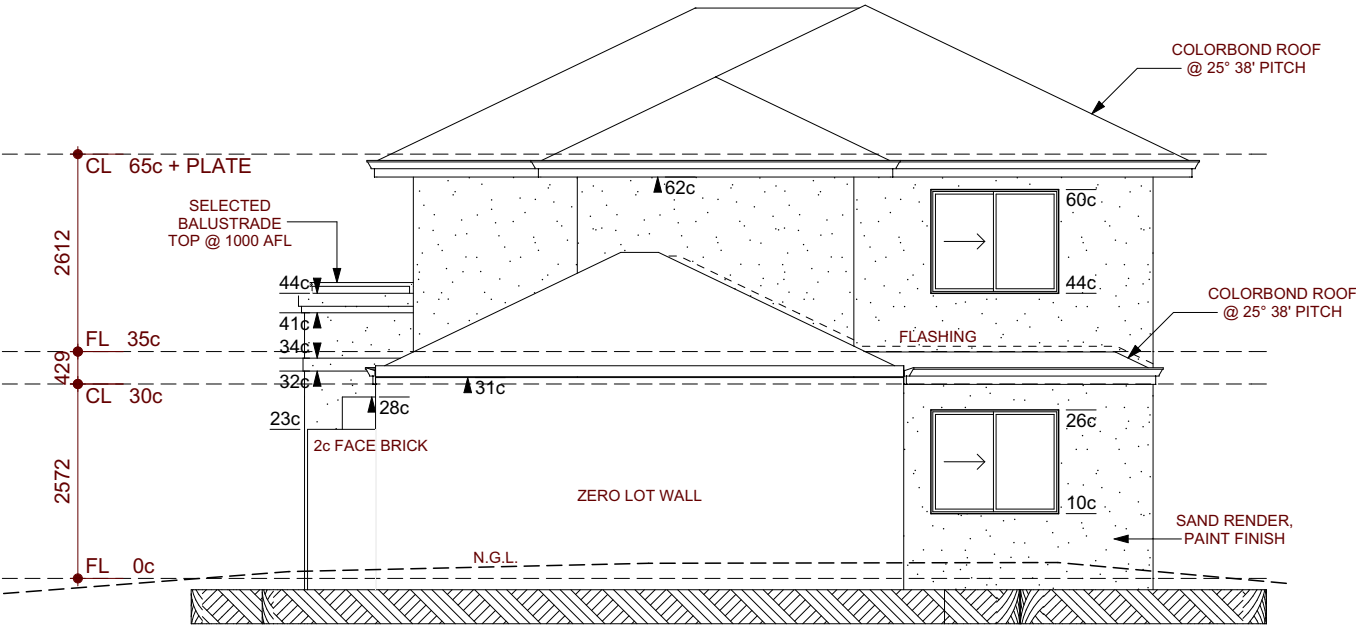
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ADDRESS:
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SHEET N°	4 OF 7
JOB N°	26407
REVISION	DATE
01	28.11.12



ELEVATION 3
1:100



ELEVATION 4
1:100

STD Drawn By: CB 02June2005 AMEND 1: CB 14Jun06 AMEND 2: JW 18-12-06 AMEND 3: LM 28May08