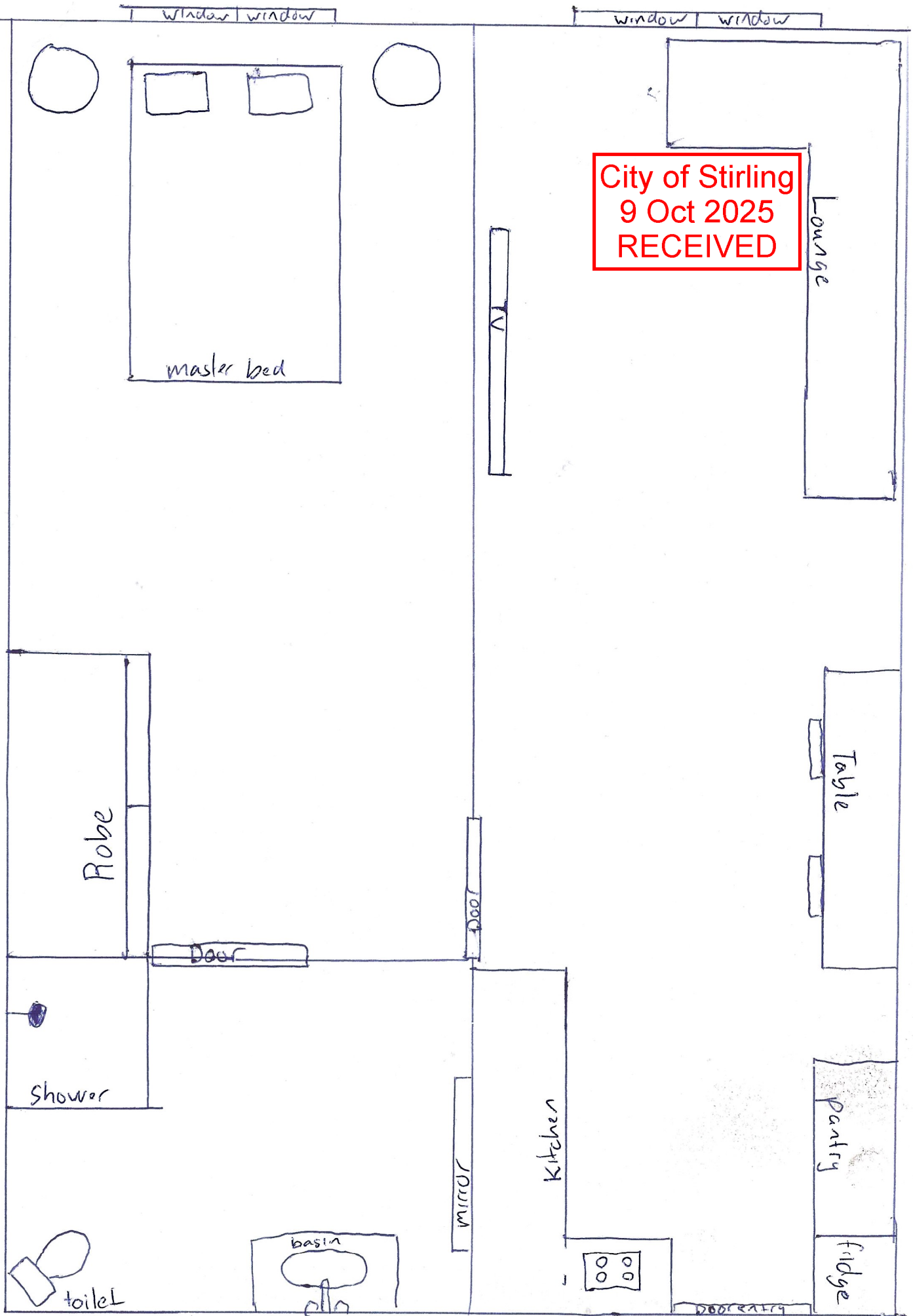


L1 LOT 19 60 Stanley Street Scarborough



42.5QM
total

Management Plan for Short-Term Rental Accommodation in Scarborough Overview This management plan outlines the operational framework for an un-hosted short-term rental property in Scarborough, registered as an Airbnb. The property is designed to provide comfortable, safe, and compliant accommodation for guests, ensuring adherence to local council regulations and positive neighbor relations. Nature of Short Stay - The property operates as an un-hosted short-term rental, with no owner or manager residing on-site during guest stays. - Bookings are managed via the Airbnb platform, with remote oversight by the owner. House Rules

1. Parties & Gatherings: No parties or gatherings permitted. Guests must seek prior approval from the owner for any visitors.
2. Music & Noise: Excessive noise, including amplified music or loud entertainment, is prohibited. No noise should be audible outside the property between ten p.m. and nine a.m. daily.
3. Outdoor Use: Use of outdoor areas (e.g., balcony or courtyard) is restricted to eight a.m. to ten p.m. Guests must move indoors and minimize noise after ten p.m.
4. Car Parking: Guests must park only in the designated on-site parking spaces provided. Blocking neighboring driveways or properties is strictly prohibited.
5. Smoking: The property is a non-smoking premise. Smoking is only permitted off-premises on the front street. A deodorizing fee will be charged if smoking odors or cigarette butts are found upon checkout. -
6. Pets: No pets are permitted. A cleaning fee will be applied if pet hair or animal odors are detected upon checkout. -
7. Rubbish: Guests must dispose of rubbish and recycling in the designated council bins, placed curbside for weekly collection.

8. Security: All doors and windows must be locked when the property is unoccupied. The security alarm, if installed, must be activated. Maximum Number of Guests per Booking - The property accommodates a maximum of guests per booking to ensure comfort and compliance with local regulations. Check-Ins and Check-Outs Procedures - Check-In: Guests receive a digital welcome pack with instructions for self-check-in via a secure key lockbox at the property entrance. Check-in time is after three p.m. - Check-Out: Guests must vacate the property by ten a.m. on the check-out day, leaving the key in the lockbox. Hygiene/Waste Management - The property is professionally cleaned between guest stays, with linens and towels replaced and surfaces sanitized. - Guests are responsible for placing rubbish and recycling in the correct council bins for weekly curbside collection. Safety - The property is equipped with smoke detectors, a carbon monoxide detector, and a fire extinguisher, all regularly inspected. - Emergency contact numbers and safety instructions are provided in the digital welcome pack. Noise Mitigation - Guests are informed of noise restrictions in the house rules and digital welcome pack. - The owner monitors guest reviews and addresses any noise-related complaints promptly. Complaint Procedures - Guests can contact the owner via phone or Airbnb messaging for any issues during their stay. - Neighbors are provided with the owner's contact information to report concerns, which will be addressed within twenty-four hours. Parking - On-site parking is provided for guests in designated spaces, ensuring no impact on neighboring properties. Management - The property is self-managed by the owner, who handles bookings, guest communication, and maintenance remotely, with a local contractor available for on-site issues. Paste this into Word, and you can add your property's specific details, like the maximum number of guests or any unique features.

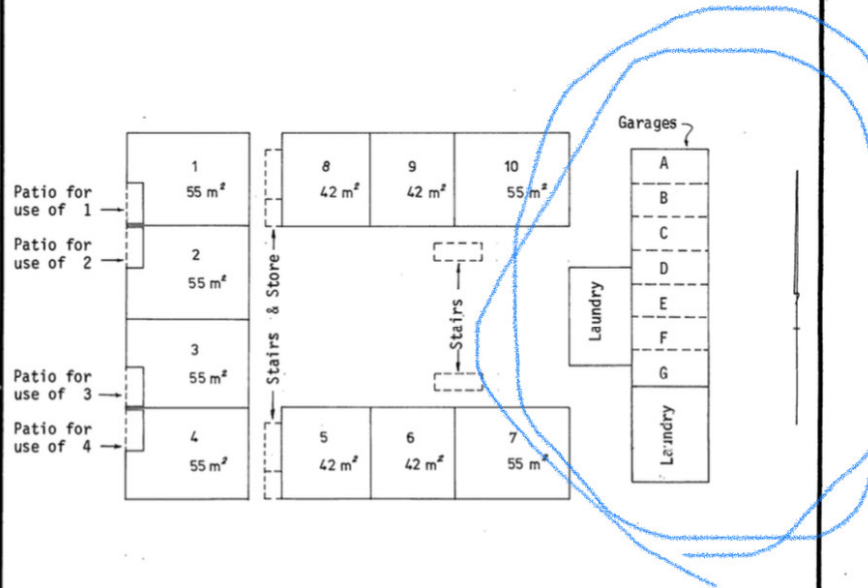
1. The portion of the dwelling to be used as a short stay is the whole property
2. Maximum number of guests is 2
3. The parking is any of the parking spots as there is no allocated spots first best dressed.
4. Maximum stay is 30 days.

C.A. 4

SHEET No. 1 OF 2 SHEETS

STRATA PLAN No. 5137

GROUND FLOOR



SCALE 1:300 FEET TO AN INCH

BROWN McALLISTER & ASSOCIATES
Licensed Surveyors

APPROVED

FOR THE PURPOSES OF THE STRATA TITLES ACT 39 OF 1966 AS AMENDED

TOWN PLANNING BOARD

David Carr

DATE _____ CHAIRMAN

LOCAL AUTHORITY CITY OF STIRLING

R. H. Stewart

DATE 6.6.1977 SHIRE TOWN CLERK

85379/11/75-2M-C397