

City of Stirling
18 Aug 2026
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Development Application Report

78 (Lot 9000) Jones Street, Stirling

August 17, 2026

Prepared for Yael K & Associates / Revolution Sports

Project Details

78 (Lot 9000) Jones Street, Stirling
Prepared for Yael K & Associates / Revolution Sports
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Contents

1 Introduction 4

Pre-Consultation 6

2 Site Details 7

Site & Property Description 8

Context 8

Existing Improvements & Current Land Use 9

Existing Vehicle Access 10

Services & Easement Details 10

3 Proposed Development 11

Development Summary 12

Operator 13

Built Form, Design & Materials 14

Landscaping 14

External Lighting 15

Sustainability Measures 15

Access, Parking & Bicycle Parking 16

Traffic Impact Assessment 16

Acoustic Measures 16

Waste Management 17

Operating Hours & Management 17

Signage 17

4 Planning Framework 18

Metropolitan Planning Scheme 19

Local Planning Scheme No. 3 19

Draft Local Planning Scheme No. 4 19

CoS LPP4.5 Private Institution Design Guidelines 20

CoS Draft LPP - Non-Residential Development in Residential and Private

Community Purpose Zones 20

CoS LPP 6.7 Parking and Access 20

CoS LPP 6.18 Public Consultation Policy 20

CoS LPP 6.12 Public Art Policy 20

5 Clause 67 Assessment 21

6 Summary 26

City of Stirling
18 Aug 2026
RECEIVED

1

Introduction

Introduction

Hemsley Planning acts on behalf of Yael K & Associates / Revolution Sports, the proponent of the proposed development of a portion of 78 (Lot 9000) Jones Street, Stirling (subject site). Hemsley Planning has prepared the following report in support of an Application for Approval to Commence Development for an indoor padel centre on the subject site.

The subject site is owned and occupied by the Adriatic Club and has an area of 18,095m². The land is zoned Private Institution under the City of Stirling Local Planning Scheme No. 3 (LPS3).

The proposal seeks approval to replace two (2) outdoor astroturf lawn bowling greens with a purpose built indoor padel centre. The proposal includes nine (9) padel courts, incidental amenities, an office, storeroom, basic equipment shop, four (4) new bicycle parking spaces, new landscaping and associated car parking reconfiguration to increase the amount of bays by five (5).

The proposed land use is classified as Recreation - Private. Under LPS3 Recreation - Private is a P use in the Private Institution zone.

The proposal has been designed to complement the existing Adriatic Club landholding and provide a contemporary indoor recreation facility on a portion of the site which is presently underutilised.

This report addresses and discusses matters relevant to the proposal, including:

- Site details;
- Proposed development;
- Statutory planning framework; and
- Clause 67 assessment.

Pre-Consultation

A pre-lodgement meeting was held with the City of Stirling on 21 July 2026.

The meeting was attended by:

1. Dylan Todd, CoS Senior Planning Officer;
2. Nick Bertone, CoS Coordinator Planning Services at the City of Stirling;
3. Alex Hemsley, Director Hemsley Planning; and
4. Wesley Wark, Director Yael K and Associates (design).

The City's feedback was positive. The key outcomes of the meeting were as follows:

1. the City confirmed that a Local Development Plan (**LDP**) is not required, as the proposal is single storey;
2. the City confirmed that under the incoming Draft Local Planning Scheme No. 4 (**LPS4**), expected to be implemented within approximately 1 to 2 months, a LDP would not be required in any event;
3. the City accepted the applicant's parking logic that the proposed padel centre has a lower parking demand than the existing bowling greens;
4. the City accepted that the land use 'Recreation – Private' requires one (1) bay per four (4) users and advised that the site qualifies for a 15% reduction in car parking bays as it is within 200m of a high frequency bus route;
5. the City confirmed that the proposal does not require referral to the City's Design Review Panel;
6. the City agreed that the separate office extension development application on the subject site submitted by others can be assessed separately, provided this application acknowledges that proposal and does not conflict with it; and
7. the City advised that it seeks an acoustic assessment.

The applicant's response to the acoustic assessment matter is addressed in section 5.6 of this report.

The City has confirmed in writing that a Design Review Panel (**DRP**) referral is not required. Dylan Todd, Senior Planning Officer, stated:

"In the context of the proposal in current form, a Design Review Panel will not be a required step in the application process however public consultation will be required."

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18 Aug 2026
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2

Site Details

Site & Property Description

The table below provides a legal description of the land subject to this development application.

ITEM	DETAIL
ADDRESS	78 Jones Street, Stirling
LOT	Lot 9000
SITE AREA	18,095m ²
LANDOWNER	Stirling Adriatic Centre (Inc.)
LPS3 ZONING	Private Institution under Local Planning Scheme No. 3
DRAFT LPS4 ZONING	Private Community Purposes under draft LPS4
EXISTING PRIMARY SITE FUNCTION	Adriatic Club / Adriatic Centre
DEVELOPMENT AREA	Existing unused outdoor bowling greens
EXISTING PARKING	146 bays
PROPOSED PARKING	151 bays

Refer the submission package for a copy of the Certificate of Title.

Context

The subject site is located within the City of Stirling and forms part of an established urban area with access to the regional road network, public transport services and nearby activity centres.

The site is located between Glendalough Train Station and Stirling Train Station, with bus route 414 operating along Jones Street.

More locally, the subject site is located within an established area containing a mix of residential, recreation, community and institutional style land uses. The residential land located to the south-east of the subject site previously formed part of a larger Adriatic Centre landholding.



Figure 1 Subject site context plan

Site Details

Existing Improvements & Current Land Use

The subject site is already substantially developed. The existing improvements and land uses are summarised below.

EXISTING USE / BUILDING	APPROXIMATE AREA M ²
Uplyft Early Learning Stirling Child Care Centre (Completed In 2024)	2,200m ² internal and external spaces (excluding parking)
Indoor Lawn Bowling	2,000m ² footprint
Adriatic Centre Main Club Building	1,600m ² footprint
Indoor Cricket Centre	610m ² footprint
Pottery Club Building	125m ² footprint
Two Outdoor Astro turf Lawn Bowling Greens	3,200m ²

The two (2) nighttime illuminated outdoor astroturf bowling greens are now infrequently used and represent the principal underutilised portion of the subject site. The proposal replaces this unused outdoor recreation area with a managed indoor recreation facility.



Figure 2 Existing land uses on the subject site.

3

Proposed Development

Development Summary

The proposal seeks approval for a purpose built indoor padel centre.

The proposed development includes:

1. three (3) singles padel courts;
2. six (6) doubles padel courts including three (3) doubles courts designed to meet the highest level certification for top level games;
3. toilets and showers (end of trip facilities);
4. combined storeroom, back of house and basic shop for padel related rental gear, balls and incidental equipment;
5. new exterior landscaping;
6. four (4) new bicycle parking spaces; and
7. reconfigured car parking proposed in tandem with Office land use development application proposed by others.

The proposed building footprint is 2,743m².

The building is single storey. The internal padel court clearance requirements for the competition grade doubles courts result in an overall building height of up to approximately 12m relative to natural ground level.

The three (3) competition grade courts require additional ceiling height and have been located furthest away from the eastern lot boundary to reduce building bulk and scale as perceived from nearby residential properties.

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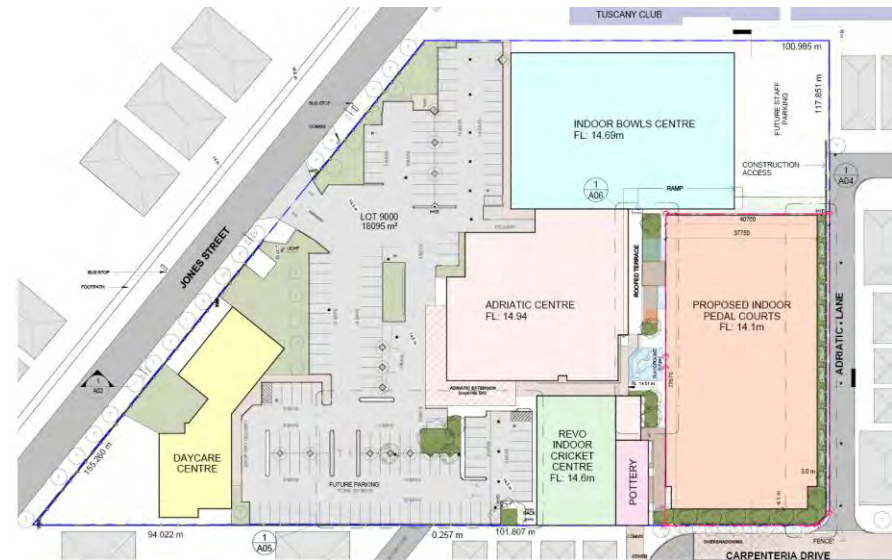


Figure 4 Proposed Site Plan (wider area)

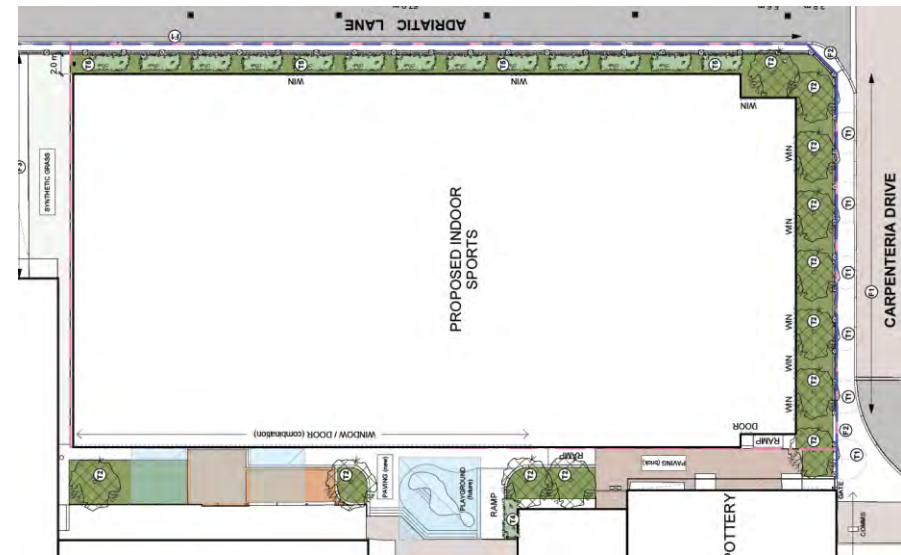


Figure 5 Proposed Site Plan (localised)

Proposed Development

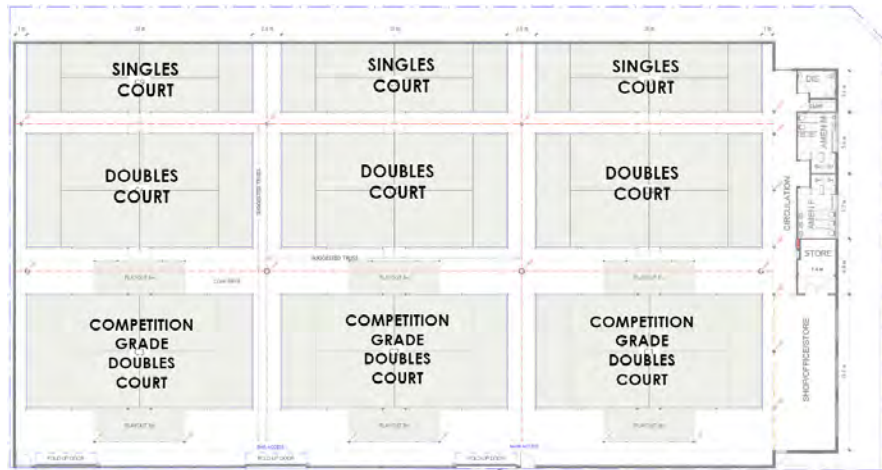


Figure 6 Proposed Floor Plan



Figure 7 Proposed south facing elevation

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78 (Lot 9000) Jones Street, Stirling



Figure 8 North western facing perspective from the intersection of Carpenteria Drive and Adriatic Lane

Operator

The indoor padel centre will be built and operated by Revolution Sports. Revolution Sports is a family company with a strong background in indoor sports in Perth's inner suburbs. The operator has established experience in indoor recreation facilities and will manage the proposed padel centre as a controlled indoor court hire facility.

The proposed use will support the Adriatic Club by providing a stable long term ground lease income while broadening the recreation offering available from the site.

RS REVOLUTION SPORTS

Built Form, Design & Materials

The proposed building will present as a purpose built indoor recreation facility with an architecturally resolved roof form, integrated lighting and new landscaping.

The material schedule is summarised below.

BUILDING ELEMENT	PROPOSED MATERIAL / FINISH
ROOFING	COLORBOND, Lysaght Klip-Lok, Wallaby
WINDOW FRAMES	PVC, Charcoal Satin Lustre or similar (dark grey)
GLAZING	Double glazed Low E
LOWER EASTERN WALL	Concrete tilt up or similar to match on lower 5m of eastern wall, clear coat seal to natural concrete finish enhanced with coloured pigment CCS Apollo
UPPER WALL	Innova Montage architectural fibre cement sheet product. Concrete Smooth Plain finish.

An architectural statement is not sought to be made by the proposal. The built form is intended to be restrained and concealed. The design incorporates a considered roof form, a restrained organic material palette, double glazing, a substantial concrete lower wall expression and dense landscaping to improve its presentation. The proposal is designed and specified to avoid taking on the appearance of basic shed building given the transitional land use.

Landscaping

The proposal also features a high-quality landscaping scheme. The proposal utilises the southern and eastern street setback areas and the corner lot truncation with a design that effectively provides both screening and a buffer/ separation zone to the adjoining residential land uses whilst also providing subtle lighting to create visual interest both during the day and night.

The proposed lighting arbour along the eastern elevation facing Adriatic Lane is a lightweight, open-framed landscape structure comprising, dark-finished steel posts and horizontal members fitted with a tensioned wire trellis. Climbing plants (Star of

Jasmine or Native Wisteria) will be trained across the trellis to create a permeable vertical screen that becomes integrated with the built form as it matures.

A continuous linear LED fitting is concealed at the base of the structure and directed upward through the planting whilst shielding light spill to the east. This produces a soft, filtered wash of light across the foliage and frame, giving the landscaping a strong presence after dark. The design is based on the established lighting arbours at 136 Stirling Highway, Nedlands.

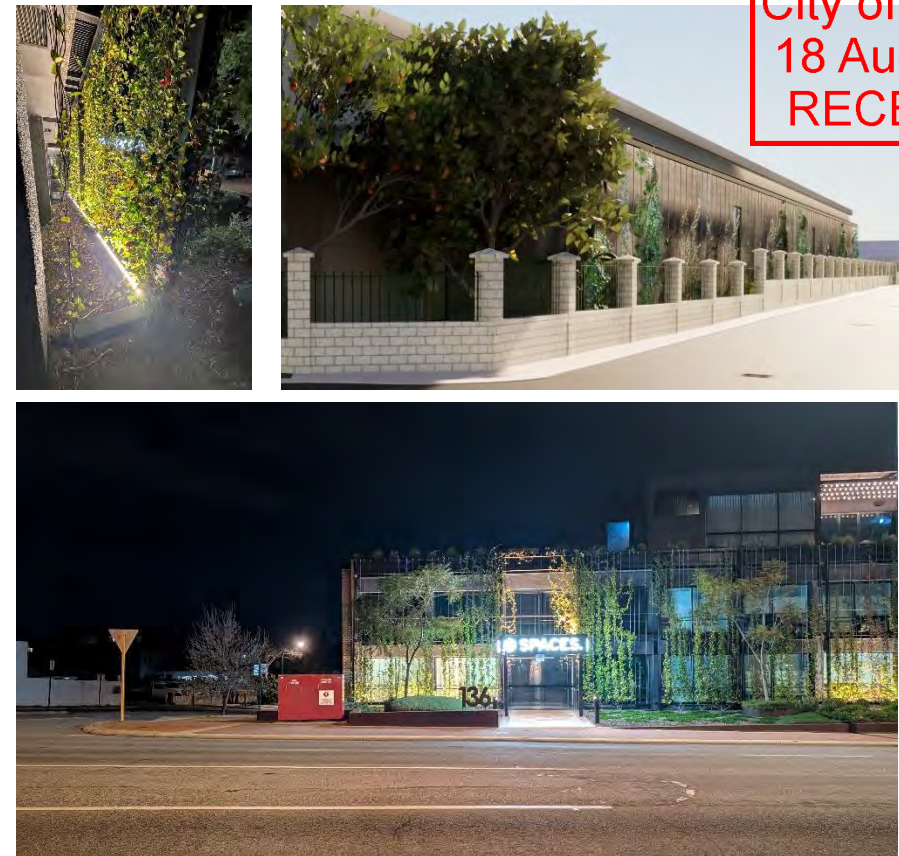


Figure 9 Proposed lighting arbour along the eastern elevation facing Adriatic Lane to resemble the installation found at 136 Stirling Highway, Nedlands.

Proposed Development

The landscaping will assist in:

1. softening the presentation of the new building;
2. improving the visual interface to nearby residential properties;
3. integrating the building with the broader Adriatic Club site; and
4. improving the energy efficiency of the building.

A landscape plan and irrigation details form part of the DA package. We request an Development Approval is conditioned to require a detailed landscaping plan with plant selections is provided at the building permit stage.

External Lighting

We are pleased to confirm that the current outdoor tower lighting which illuminates the to be removed bowling greens will be decommissioned and as no outdoor padel courts are proposed, no outdoor sports lighting is proposed.

All padel activity will occur indoors. This materially reduces the potential for unwanted light spill to nearby residential properties.

Feature uplighting is proposed to illuminate landscaping along eastern street frontage to improve the amenity of the proposal during both the day and night.

Sustainability Measures

The proposal will incorporate sustainability measures appropriate to a contemporary Class 9b indoor recreation facility.

As a new Class 9b building, the proposal will be required to satisfy the relevant energy efficiency requirements of the National Construction Code at the building permit stage. In Western Australia, transitional arrangements allowing continued use of NCC 2019 Amendment 1 ended on 30 April 2025, and building permit applications from 1 May 2025 are required to nominate NCC 2022 or NCC 2022 Amendment 1.

The relevant minimum energy efficiency framework is therefore expected to include NCC Volume One Section J, including building fabric, building sealing, air-

conditioning and ventilation, artificial lighting and power, heated water, energy monitoring, and provisions to facilitate future on-site renewable energy and electric vehicle charging infrastructure.

The sustainability measures proposed include the following.

Rooftop Solar and Future Battery Storage

A minimum 10kW rooftop solar PV system is proposed.

The roof plan indicates capacity for a substantially larger system, subject to structural design, electrical design, commercial feasibility and Western Power approval. The array depicted accommodates 450 panels. Based on 440W panels, this would equate to a potential system size of approximately 198kW.

The site also has space clear of openings and other structures to the north for future battery storage, which could be retrofitted if practical having regard to the operating needs of the padel centre and the broader collectively metered Adriatic Club site.

LED and Smart Lighting

The proposal will use high efficiency LED lighting throughout the court areas and ancillary spaces.

Court lighting will be automated and capable of being controlled by court or zone, so unoccupied areas do not need to remain fully lit. Motion sensors and smart controls will be used where practical.

The lighting design will be required to satisfy the applicable NCC artificial lighting requirements, including illumination power density limits measured in W/m².

West facing glazing will provide afternoon daylight to parts of the building, reducing reliance on artificial lighting where practical.

Efficient Cooling and Ventilation

The proposal will incorporate high efficiency evaporative cooling with smart thermostats, zone controls and timers.

This will allow cooling and ventilation to respond to actual operating conditions and reduce unnecessary energy use when parts of the building are unoccupied.

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18 Aug 2026
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The final mechanical services design will be required to comply with the applicable NCC energy efficiency requirements for air-conditioning and ventilation.

Double Glazed Low E Glazing

Double glazed Low E glazing is proposed throughout. This will improve thermal performance, reduce heat transfer and support energy efficiency while still allowing natural light into the building.

Landscaping, Irrigation and Stormwater

The proposal includes landscaping around the building perimeter using native and drought tolerant species.

Permeable paving will be used where practical to assist stormwater infiltration and reduce runoff.

Irrigation will be water efficient and is expected to include drip irrigation, zoning and timer-based controls. A detailed landscaping plan with species and irrigation details will be provided at building permit stage.

Bicycle Parking and Site Efficiency

The proposal includes four new bicycle parking spaces, supporting non-car access to the facility.

The development also makes efficient use of an already developed recreation and club site by replacing unused synthetic outdoor recreation space with a managed indoor recreation facility.

A brief sustainability schedule is included in the DA package

Access, Parking & Bicycle Parking

The proposal will provide 151 car parking bays on the subject site, including five (5) ACROD bays. This represents a net increase of five (5) bays from the existing provision of 146 bays, including the ACROD bays.

The additional bays will be achieved by reconfiguring the carpark to the south of the office extension proposed separately by others on the subject site. For comfort, we invite the City to condition an approval to require to provision of a specific number of

AS2890.1 compliant car bays on site. This is to ensure that the Office DA (submitted by others) will integrate with this proposal.

The proposal also includes four (4) new bicycle parking spaces. The bicycle racks are located in the reconfigured parking area on the southern lot boundary, in front of the indoor cricket building and on the western side of that structure.

Traffic Impact Assessment

A traffic impact assessment is not required.

The City accepted during pre-lodgement discussions that the proposed padel centre has a lower traffic and parking impact than the existing outdoor bowling greens.

The proposal has a fixed active playing capacity of 30 players and one staff member. By comparison, the existing outdoor bowling greens have a materially greater active player capacity.

Each existing bowling green has an area of approximately 1,350m², which is consistent with a full size bowling green. A bowling green is commonly capable of accommodating six rinks, and potentially six or seven games at one time.

On a conservative six rink per green basis, the two greens can accommodate 12 games concurrently. In a fours format, this equates to 96 active players.

On a seven game per green basis, the active player capacity increases to 112 active players.

The proposed padel centre therefore represents a significantly lower intensity recreational use of the land than the existing outdoor bowling greens.

Acoustic Measures

Advice has been sought during the design stage to ensure that the building as proposed will be capable of achieving d and to confirm construction material systems capable of achieving compliance with noise levels as prescribed under the Environmental Protection (Noise) Regulations 1997 (the Regulations).

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18 Aug 2026
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Proposed Development

We note however, that at the time of lodgement, the proposed land use Recreation – Private is a P land use and ordinarily is not required by the current planning framework to demonstrate compliance with noise levels as prescribed under the Regulations.

We are of the position is that a full acoustic report is not required at lodgement. We request the City condition an approval to require an acoustic impact assessment be prepared as part of a building permit application with the recommendations of the assessment being implemented as part of the building permit application.

The proposal includes the following acoustic design and management measures:

1. the recreation activity is located indoors. no outdoor or unenclosed courts are proposed;
2. the lower 5m of the eastern wall will be concrete tilt up or similar;
3. all glazing facing east and south will be double glazed Low E glass. These windows will not be operable;
4. there are no doors or access points on the eastern or southern boundaries where the proposal interfaces with the surrounding residential development;
5. padel is played with a soft tennis style ball and is not is not refereed with a whistle;
6. the nearest dwellings facing the relevant windows are separated by a road and are at least approximately 15m from those dwelling's operable windows; and
7. the building will assist in shielding noise from existing functions and events held at the existing Adriatic Club premises which presently has a direct line of sight to dwellings on Adriatic Lane and Carpenteria Drive.

Waste Management

The proposal is not expected to generate meaningful additional waste streams requiring reassessment of the site wide waste management arrangements.

Any waste generated by the padel centre will use the existing bins and waste collection arrangements used by the Adriatic Centre / Club.

The incidental shop is limited to padel related equipment, such as rental gear, balls and similar items. It is not expected to operate as a separate retail destination or generate separate commercial waste streams.

Operating Hours & Management

The proposed operating hours are 6:00am to 10:00pm, every day.

The facility will ordinarily operate with one (1) staff member.

Users will typically book courts online. Booking information will direct users to park in the main carpark accessed from Jones Street and not to use Adriatic Lane or Carpenterier Drive.

Signage

The proposal does not seek approval for signage at this stage. Any subsequent applications for signage will be limited to the Jones Street frontage. Any signage will be designed to integrate with the building and will not dominate the surrounding streetscape or nearby residential interface.

4

Planning Framework

Planning Framework

Metropolitan Planning Scheme

The subject site is zoned Urban under the provisions of the Metropolitan Region Scheme (MRS).

Local Planning Scheme No. 3

The subject site is zoned Private Institution under the City of Stirling Local Planning Scheme No. 3 (LPS3).

The proposed land use is classified as Recreation - Private, which means premises used for indoor or outdoor leisure, recreation or sport which are not usually open to the public without charge.

Recreation - Private is a P use in the Private Institution zone.

The proposed use is therefore permitted under LPS3.

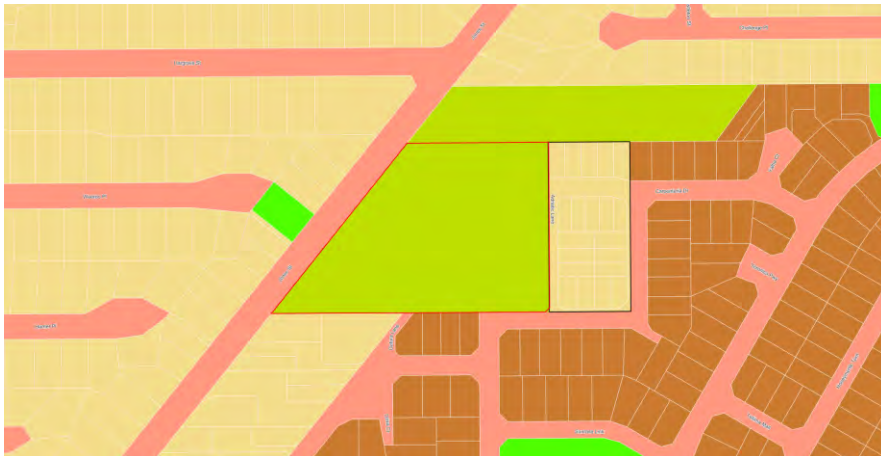


Figure 10 Local Planning Scheme No. 3 Zoning Map (Intramaps)

Draft Local Planning Scheme No. 4

The City is progressing draft Local Planning Scheme No. 4 (LPS4).

Under the draft planning framework, the subject site is expected to transition from Private Institution to Private Community Purposes. The Recreation - Private land use is expected to become a D use under the draft scheme.

The application is lodged under the current planning framework. However, the draft planning framework is relevant background context because the City advised during pre-lodgement discussions that a LDP would not be required under LPS4.



Figure 11 Draft Local Planning Scheme No. 4 Zoning Map (Intramaps)

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18 Aug 2026
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CoS LPP4.5 Private Institution Design Guidelines

City of Stirling Policy 4.5 Private Institution Design Guidelines applies to development within the Private Institution zone. The policy addresses matters including land use, setbacks, building height, built form, traffic, parking, landscaping, lighting and amenity.

The policy also requires development applications to be accompanied by a Local Development Plan, except in certain circumstances, including single storey proposals. The proposal is single storey and therefore falls within the exception.

The City confirmed during pre-lodgement discussions that a Local Development Plan is not required.

CoS Draft LPP - Non-Residential Development in Residential and Private Community Purpose Zones

The City has prepared a draft Local Planning Policy for Non-Residential Development in Residential and Private Community Purpose Zones.

This draft policy is relevant as the subject site is expected to transition to the Private Community Purposes zone under draft LPS4.

The proposal has been prepared having regard to the draft policy.

CoS LPP 6.7 Parking and Access

The City accepted during pre-lodgement discussions that the relevant Recreation - Private parking standard is one bay per four users. The City also advised that the subject site qualifies for a 15% parking reduction as it is located within 200m of a high frequency bus route.

There are bus stops on the Jones Street frontage of the subject site, one on either side of the road. Those stops are serviced by bus route 414, which operates between Glendalough Train Station and Stirling Train Station.

CoS LPP 6.18 Public Consultation Policy

The City confirmed that public consultation will be required.

The estimated cost of development is under \$2m, excluding GST. On that basis, the proposal is not expected to be treated as a 'complex application' by reason of development value.

CoS LPP 6.12 Public Art Policy

The estimated cost of development is under \$2m, excluding GST. On the basis that the final development cost remains below \$2m, excluding GST, the proposal is not expected to trigger the City's public art requirement.

5

Clause 67 Assessment

The proposed land use is presently classified as Recreation - Private, which is a P use in the Private Institution zone under LPS3. Under the advertised draft LPS4, the land is expected to transition to the Private Community Purposes zone, where Recreation - Private is understood to become a D use. The draft scheme context is therefore relevant to orderly and proper planning, however the application is lodged under the current operative scheme. Clause 67 requires the decision maker to have due regard to relevant planning matters when determining a development application.

CLAUSE 67 MATTER	ASSESSMENT
<i>(A) the aims and provisions of this scheme (including any planning codes that are read, with or without modifications, into this scheme) and any other local planning scheme operating within the scheme area;</i>	The proposal is consistent with LPS3. The subject site is zoned Private Institution and the proposed Recreation - Private use is a P use. The development also responds to relevant scheme and policy considerations relating to built form, parking, access, landscaping and amenity.
<i>(B) the requirements of orderly and proper planning including any proposed local planning scheme or amendment to this scheme that has been advertised under the planning and development (local planning schemes) regulations 2015 or any other proposed planning instrument that the local government is seriously considering adopting or approving;</i>	The proposal represents an orderly evolution of an established club and recreation site. It replaces unused outdoor bowling greens with a managed indoor recreation facility. Draft LPS4 is acknowledged. The proposal remains compatible with the intended Private Community Purposes zone, which is intended to accommodate privately owned recreation, community and institutional uses.
<i>(C) any approved state planning policy;</i>	No inconsistency with an approved State planning policy has been identified. The proposal supports efficient use of an established

CLAUSE 67 MATTER	ASSESSMENT
	urban site already used for recreation, club and community purposes.
<i>(D) any environmental protection policy approved under the environmental protection act 1986 section 31(d);</i>	No applicable environmental protection policy conflict has been identified.
<i>(E) any policy of the commission;</i>	No inconsistency with any relevant WAPC policy has been identified. Transport matters have been considered having regard to the existing and proposed active user capacity of the site.
<i>(F) any policy of the state;</i>	No inconsistency with any relevant State policy has been identified.
<i>(Fa) any local planning strategy for this scheme endorsed by the commission;</i>	The proposal is consistent with the broad planning objective of making efficient use of established urban land and supporting recreation and community uses in appropriate locations.
<i>(G) any local planning policy for the scheme area;</i>	The proposal has been assessed against relevant City policies, including Policy 4.5 Private Institution Design Guidelines, parking and access requirements, public consultation requirements, public art requirements and sustainability expectations.
<i>(H) any structure plan or local development plan that relates to the development;</i>	No structure plan or Local Development Plan applies to the proposal. Policy 4.5 provides an exception for single storey proposals. The City confirmed during pre lodgement discussions that an LDP is not required because the proposal is single storey.
<i>(I) any report of the review of the local planning scheme that</i>	Draft LPS4 and associated policy changes are acknowledged. The City advised during pre

Clause 67 Assessment

CLAUSE 67 MATTER	ASSESSMENT
<i>has been published under the planning and development (local planning schemes) regulations 2015;</i>	lodgement discussions that an LDP would not be required under the incoming planning scheme.
<i>(J) in the case of land reserved under this scheme, the objectives for the reserve and the additional and permitted uses identified in this scheme for the reserve;</i>	Not applicable. The subject site is zoned Private Institution and is not understood to be reserved land under LPS3.
<i>(K) the built heritage conservation of any place that is of cultural significance;</i>	No built heritage constraint has been identified. TBA following final heritage checks.
<i>(L) the effect of the proposal on the cultural heritage significance of the area in which the development is located;</i>	No adverse effect on cultural heritage significance has been identified. TBA following final heritage checks.
<i>(M) the compatibility of the development with its setting, including — (i) the compatibility of the development with the desired future character of its setting; and (ii) the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and</i>	The proposal is compatible with its setting. The site already contains the Adriatic Club, child care centre, indoor lawn bowls, indoor cricket and pottery club. The proposed padel centre is a complementary indoor recreation use on an established club and recreation site. The building height is functionally required for indoor padel, and the highest roof volume is positioned away from the most sensitive boundary interface.

CLAUSE 67 MATTER	ASSESSMENT
<i>appearance of the development;</i>	
<i>(N) the amenity of the locality including the following — (i) environmental impacts of the development; (ii) the character of the locality; (iii) social impacts of the development;</i>	The proposal will maintain reasonable amenity. It internalises recreation activity, avoids outdoor court lighting, avoids doors and access points on the eastern and southern boundaries, uses substantial wall construction and provides double glazed Low E glazing. The proposal also has positive social impacts by activating an unused portion of the Adriatic Club site.
<i>(O) the likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or the water resource;</i>	No unacceptable impact on the natural environment or water resources has been identified. Landscaping and water efficient irrigation will be provided. Permeable paving will be used where practical to assist stormwater management.
<i>(P) whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved;</i>	New landscaping is proposed around the building perimeter to soften the built form, improve presentation and assist the interface with nearby residential properties. Detailed plant species and irrigation details are TBA.
<i>(Q) the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire,</i>	No site risk has been identified that would prevent approval. Further confirmation may be provided through the feature survey, civil design and any required technical checks.

CLAUSE 67 MATTER	ASSESSMENT
<i>soil erosion, land degradation or any other risk;</i>	
<i>(R) the suitability of the land for the development taking into account the possible risk to human health or safety;</i>	The land is suitable for the proposed use. The development will provide a managed indoor recreation facility, with access, parking, lighting, sanitary facilities, fire safety and building safety addressed through the DA and building permit process.
<i>(S) the adequacy of — (i) the proposed means of access to and egress from the site; and (ii) arrangements for the loading, unloading, manoeuvring and parking of vehicles;</i>	The site has established vehicle access and parking. Parking will increase from 146 bays to 151 bays, including five ACROD bays. Users will be directed to the main carpark accessed from Jones Street and not to use Adriatic Lane or Carpentier Drive.
<i>(T) the amount of traffic likely to be generated by the development, particularly in relation to the capacity of the road system in the locality and the probable effect on traffic flow and safety;</i>	The proposal has a lower active user capacity than the existing outdoor bowling greens. The existing greens could accommodate approximately 96 to 112 active players, while the padel centre accommodates 30 players and one staff member. A traffic impact assessment is therefore not warranted.
<i>(U)(i) public transport services;</i>	Bus stops are located on the Jones Street frontage, one on either side of the road. They are serviced by route 414 between Glendalough Train Station and Stirling Train Station. The City advised that the site qualifies for a 15% parking reduction because it is within 200m of a high frequency bus route.
<i>(U)(ii) public utility services;</i>	The site is already developed and serviced. Any servicing upgrades required for the padel centre will be confirmed through detailed design and the building permit process.

CLAUSE 67 MATTER	ASSESSMENT
<i>(U)(iii) storage, management and collection of waste;</i>	The proposal is not expected to generate meaningful additional waste streams. Any waste generated by the padel centre will use the existing Adriatic Club bins and waste collection arrangements.
<i>(U)(iv) access for pedestrians and cyclists (including end of trip storage, toilet and shower facilities);</i>	The proposal includes four new bicycle parking spaces located in the reconfigured parking area on the southern lot boundary, in front of the indoor cricket building and on the western side of that building. Pedestrian access will be coordinated with the existing site layout.
<i>(U)(v) access by older people and people with disability;</i>	The proposal will retain five ACROD bays within the overall parking supply. Universal access requirements will be addressed through the DA plans and building permit documentation.
<i>(V) the potential loss of any community service or benefit resulting from the development other than potential loss that may result from economic competition between new and existing businesses;</i>	The proposal does not result in the loss of a functioning community service. It replaces unused outdoor bowling greens with an active indoor recreation facility and supports the long term financial sustainability of the Adriatic Club.
<i>(W) the history of the site where the development is to be located;</i>	The site has a long standing club and recreation function. The proposal is consistent with that history and maintains the broader recreation and community role of the land.
<i>(X) the impact of the development on the community as a whole notwithstanding the impact of the development on particular individuals;</i>	The proposal will provide a positive community outcome by activating an unused part of the site, increasing recreation options, improving built form presentation and supporting the ongoing operation of the Adriatic Club.

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Clause 67 Assessment

CLAUSE 67 MATTER	ASSESSMENT
<i>(Y) any submissions received on the application;</i>	Public consultation is acknowledged. Any submissions received can be considered by the City during the assessment process.
<i>(Za) the comments or submissions received from any authority consulted under clause 66;</i>	Any comments received from referral authorities can be addressed during assessment. No authority issue is presently known to prevent approval.
<i>(Zb) any other planning consideration the local government considers appropriate;</i>	The City has confirmed that Design Review Panel referral is not required. An acoustic report is being prepared to inform construction specification, however the applicant maintains that a full acoustic report is not required at DA lodgement because the use is permitted under LPS3, the activity is internalised, no outdoor courts are proposed and substantial acoustic measures are incorporated into the design.

6

Summary

Summary

The proposed indoor padel centre represents an appropriate and orderly development outcome for 78 (Lot 9000) Jones Street, Stirling.

The subject site is a large 18,095m² established club and recreation landholding owned and occupied by the Adriatic Club. The proposal will replace two unused outdoor astroturf bowling greens with a purpose built indoor recreation facility containing nine padel courts, associated amenities, an office, storeroom, incidental equipment shop, new landscaping, four bicycle parking spaces and a reconfigured parking layout.

The proposed use is properly classified as Recreation - Private. Under LPS3, Recreation - Private is a P use in the Private Institution zone. The proposal is therefore consistent with the land use permissibility of the current scheme. The draft LPS4 context is acknowledged, noting that Recreation - Private is expected to become discretionary under the future Private Community Purposes zoning.

The proposal is consistent with the established function of the Adriatic Club site. It will complement the existing club, child care, indoor lawn bowls, indoor cricket and pottery club uses by activating an underutilised portion of the land. The proposal will also support the long term financial sustainability of the Adriatic Club through a stable ground lease income.

The proposed building is single storey and does not require a Local Development Plan. This was confirmed by the City during pre lodgement discussions. The City also confirmed that referral to the Design Review Panel is not required.

The built form has been designed to respond to the functional requirements of indoor padel while managing its relationship to nearby residential properties. The higher roof volume is associated with the competition grade courts and has been located away from the most sensitive boundary interface. The building includes a considered roof form, durable materials, double glazed Low E glazing, substantial wall construction, integrated lighting and new landscaping.

The proposal will maintain reasonable amenity for the locality. All padel activity will occur indoors, no outdoor courts or outdoor sports lighting are proposed, and there are no doors or access points on the eastern or southern boundaries. The building is

also expected to assist in shielding noise from existing club functions and events held at the Adriatic Club premises.

The proposal will not create an unacceptable traffic or parking impact. The existing outdoor bowling greens have a materially greater active player capacity than the proposed padel centre. The proposal provides a fixed playing capacity of 30 players and one staff member, while increasing total on site parking from 146 bays to 151 bays, including five ACROD bays. The site is also serviced by bus stops on Jones Street and includes four new bicycle parking spaces.

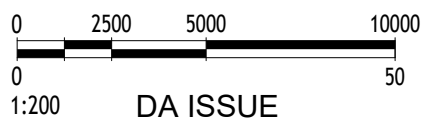
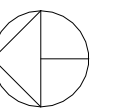
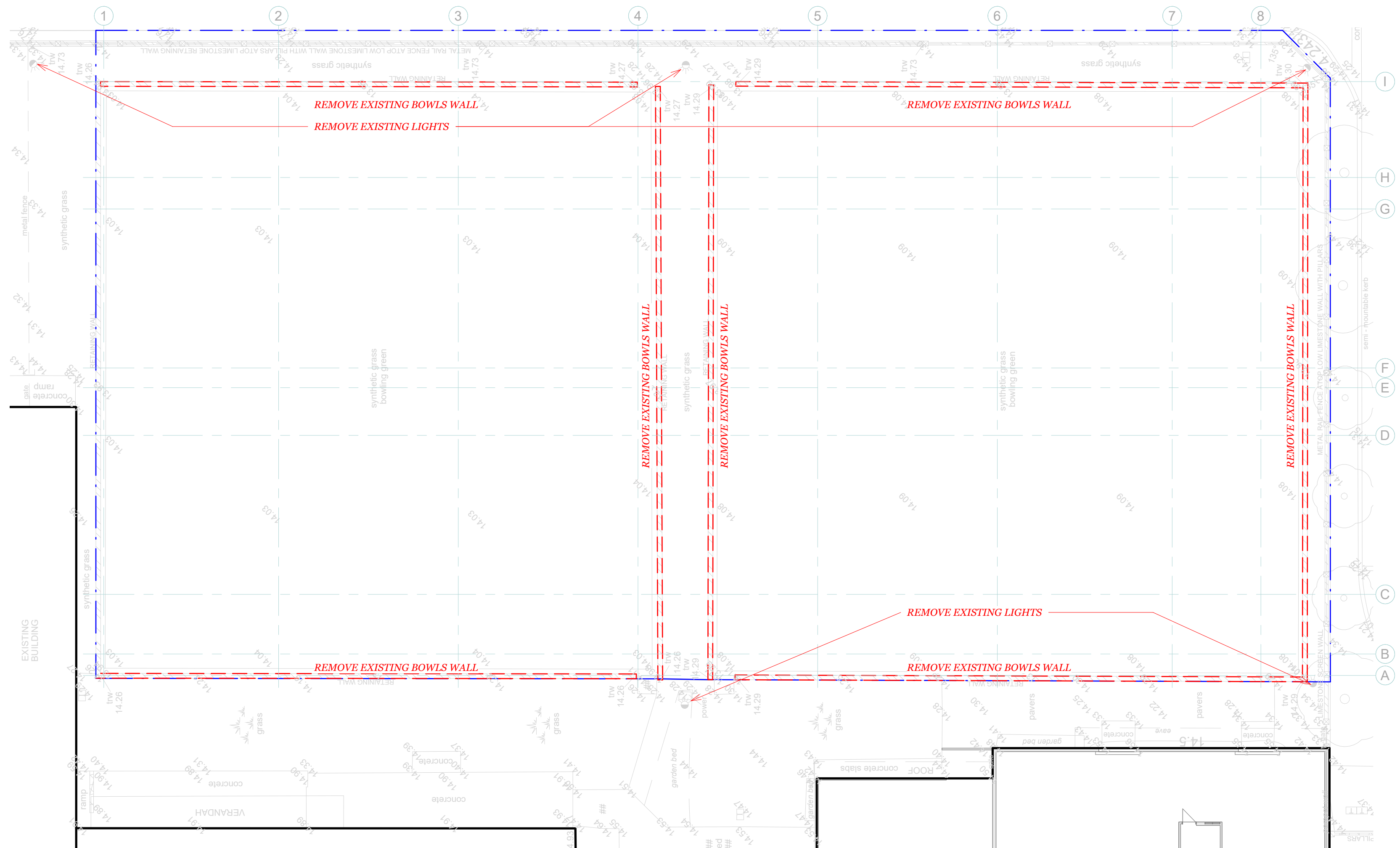
The proposal incorporates sustainability measures appropriate to a new Class 9b indoor recreation facility, including high efficiency lighting, double glazed Low E glazing, waterwise landscaping, provision for rooftop solar, future battery storage potential, efficient cooling and ventilation, and the reuse of an already developed recreation site.

For the reasons outlined in this report, the proposed indoor padel centre is considered to satisfy the relevant planning framework and clause 67 matters. The application is respectfully submitted for the City's approval.

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PROJECT
INDOOR PADEL CENTRE

CLIENT
REVO SPORTS

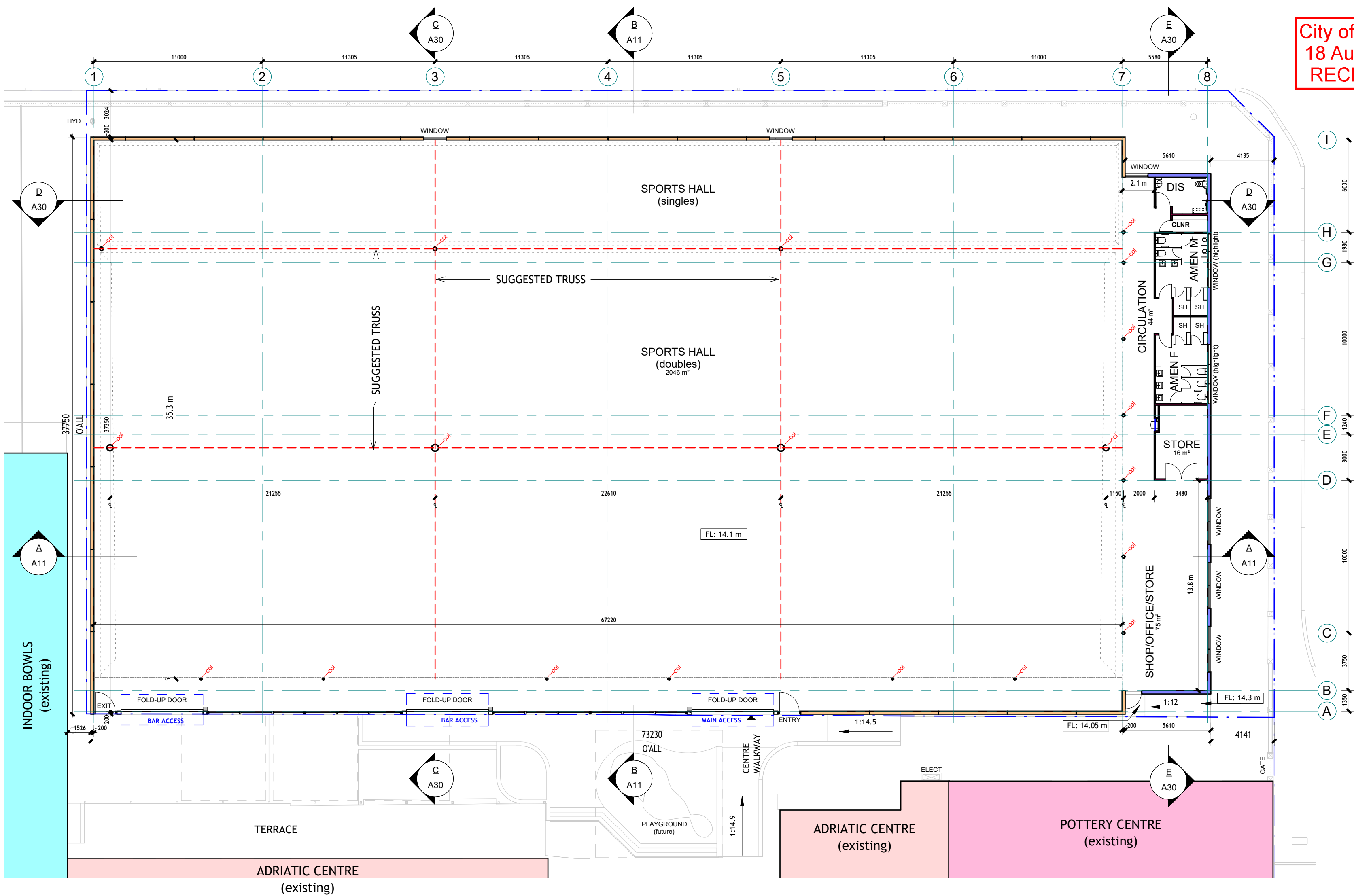
SITE ADDRESS
78 Jones St, Stirling WA 6021



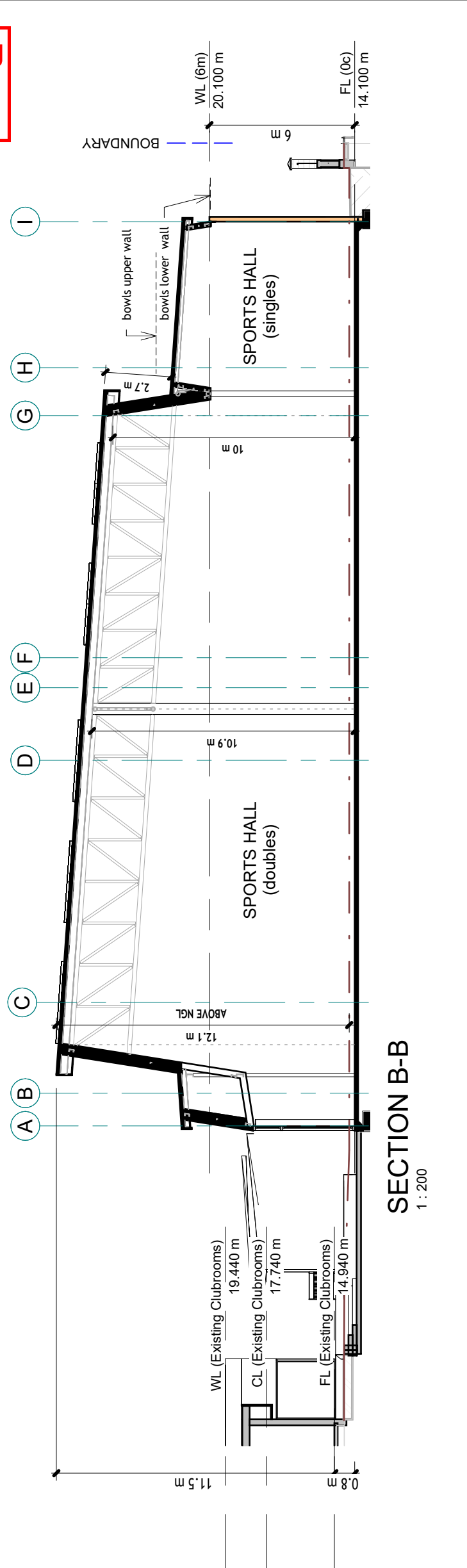
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FLOOR PLAN (exist/demo+survey)		
DATE:	30/08/26	DRAWING: A10
SCALE:	1 : 200 A2	
DRAWN:	WW	
JOB No:	161	
		REVISION: DA5

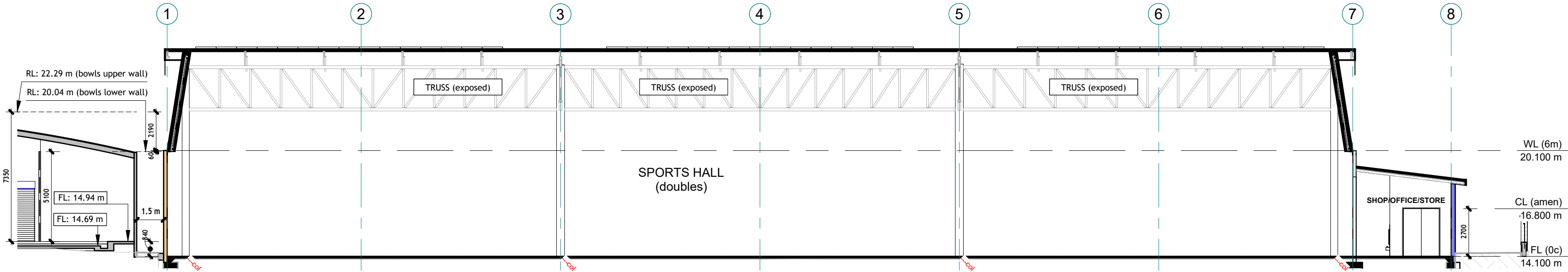
City of Stirling
18 Aug 2026
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PROPOSED FLOOR PLAN
1 : 200



SECTION B-B
1 : 200



SECTION A-A
1 : 200

6m high Concrete
3m high Cavity Brick
3m high Single Brick
Framed

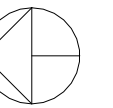
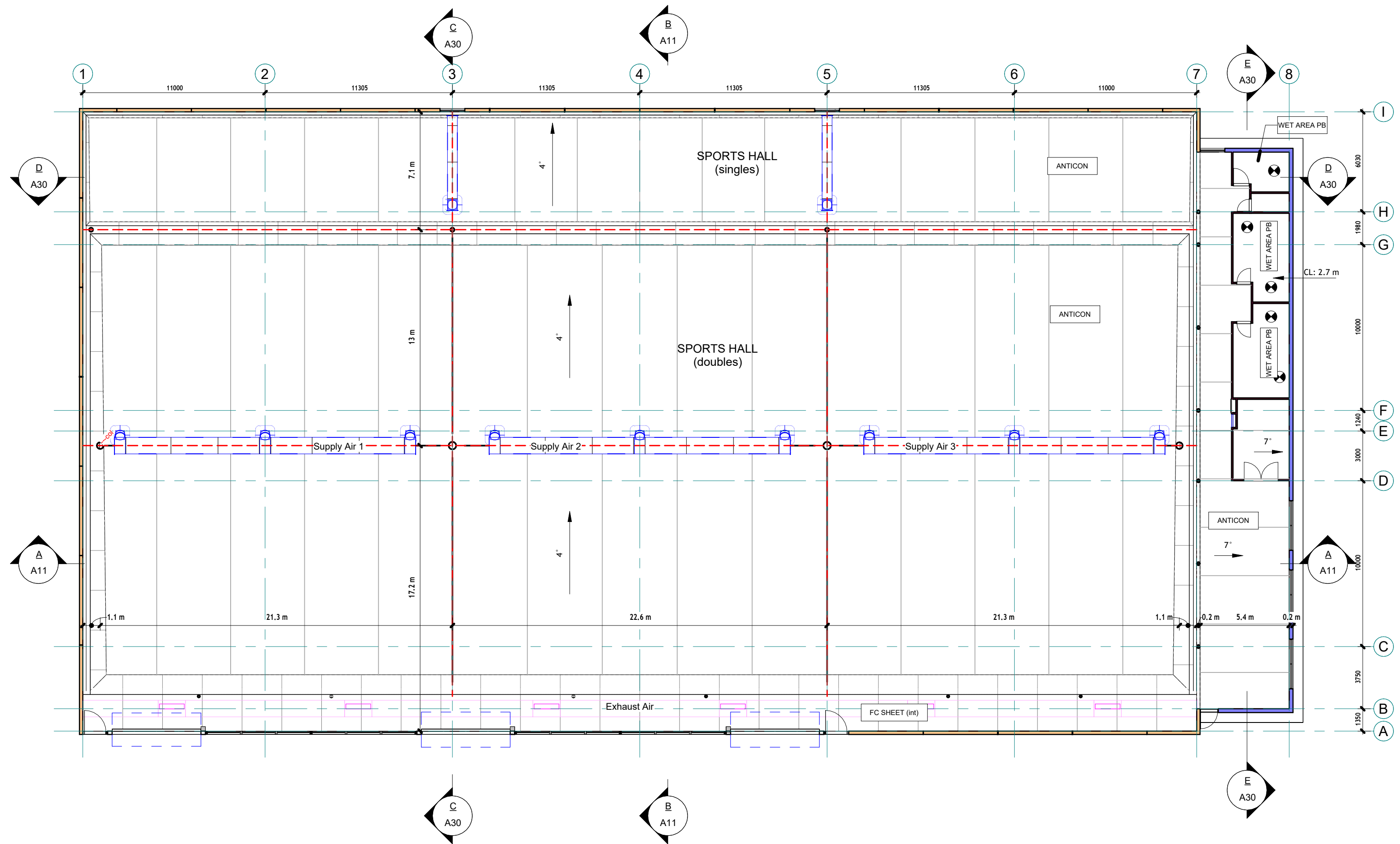
Wall Legend
1 : 200

0 2500 5000 10000
0 50
1:200 DA ISSUE

PROJECT
INDOOR PADEL CENTRE
CLIENT
REVO SPORTS
SITE ADDRESS
78 Jones St, Stirling WA 6021

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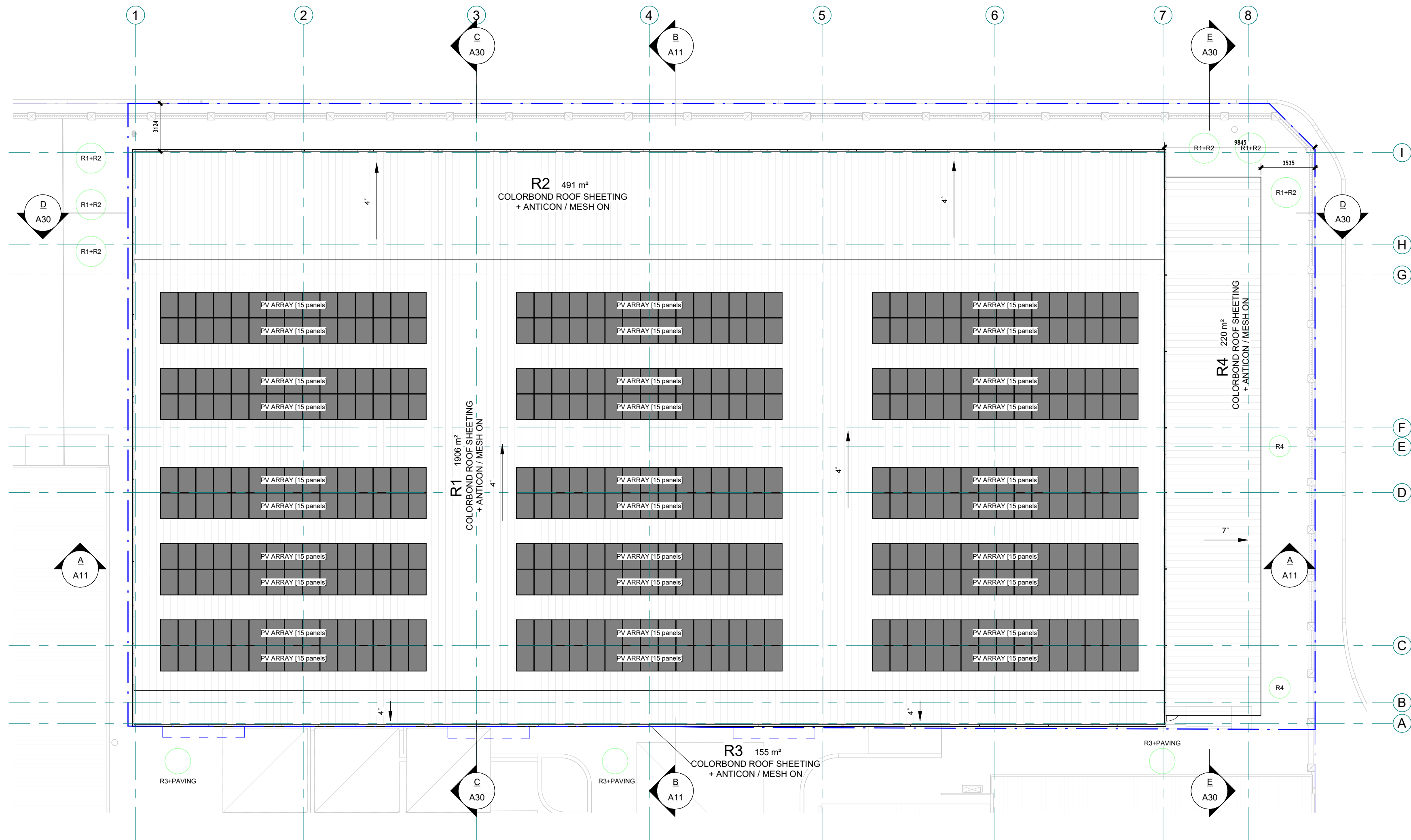
FLOOR PLAN (proposed)			
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SCALE:	1 : 200 A2		
DRAWN:	WW		
JOB No:	161	REVISION:	DA5



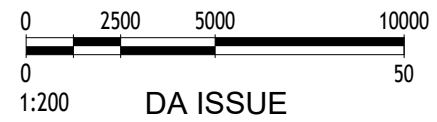
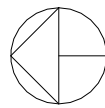
PROJECT
INDOOR PADEL CENTRE
CLIENT
REVO SPORTS
SITE ADDRESS
78 Jones St, Stirling WA 6021

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REFLECTED CEILING PLAN			
DATE:	30/08/26	DRAWING:	A12
SCALE:	1 : 200 A2	DRAWN:	
JOB No:	161	REVISION:	DA5



SOAKWELL



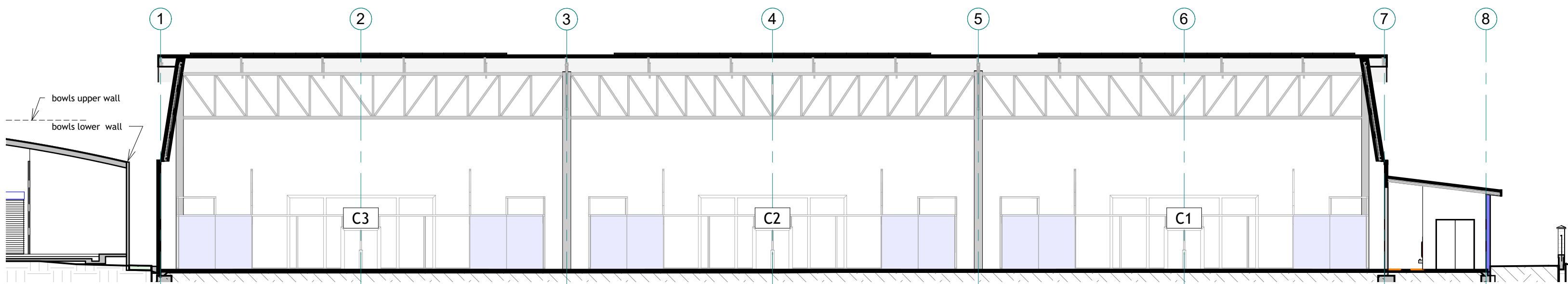
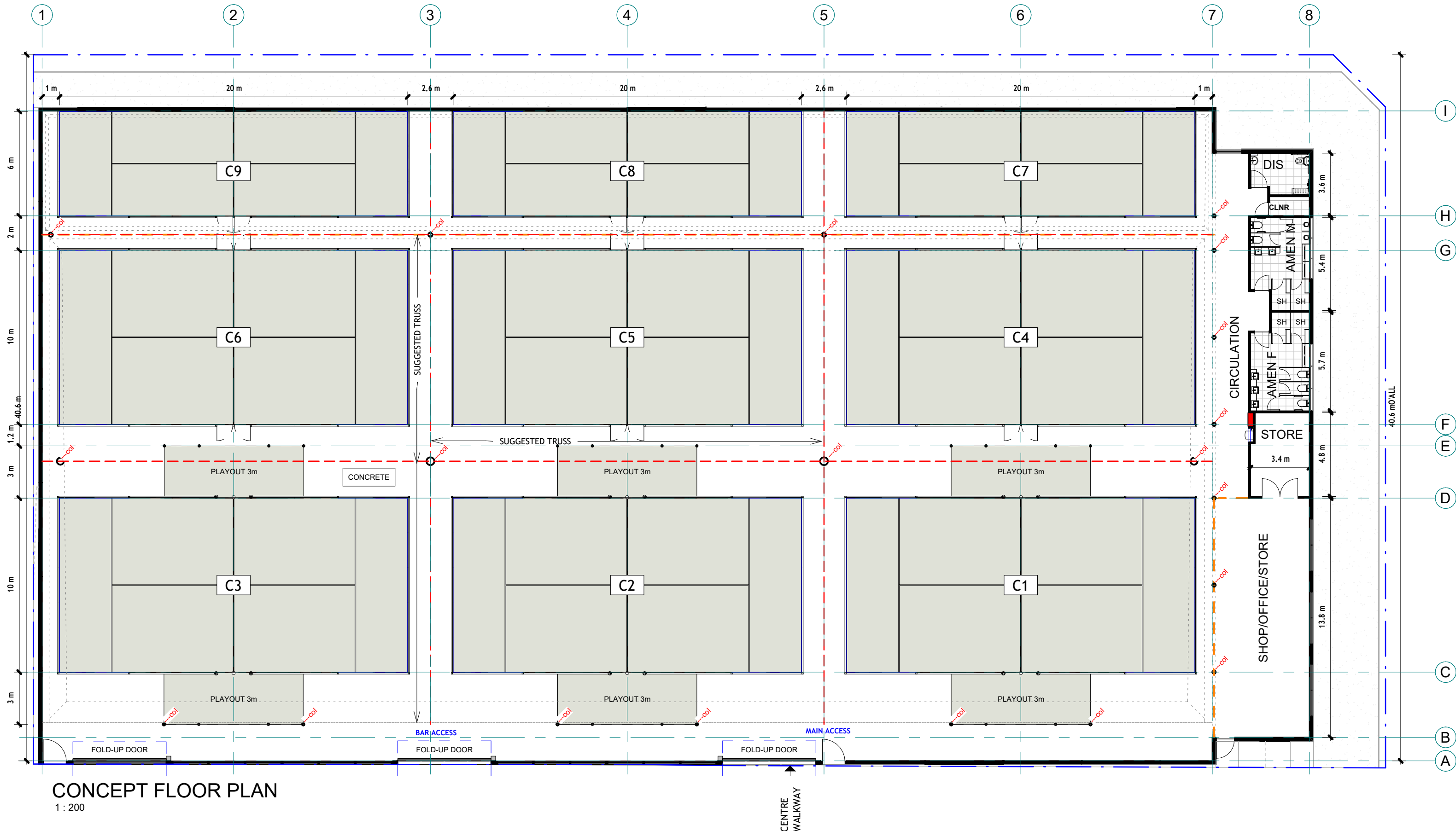
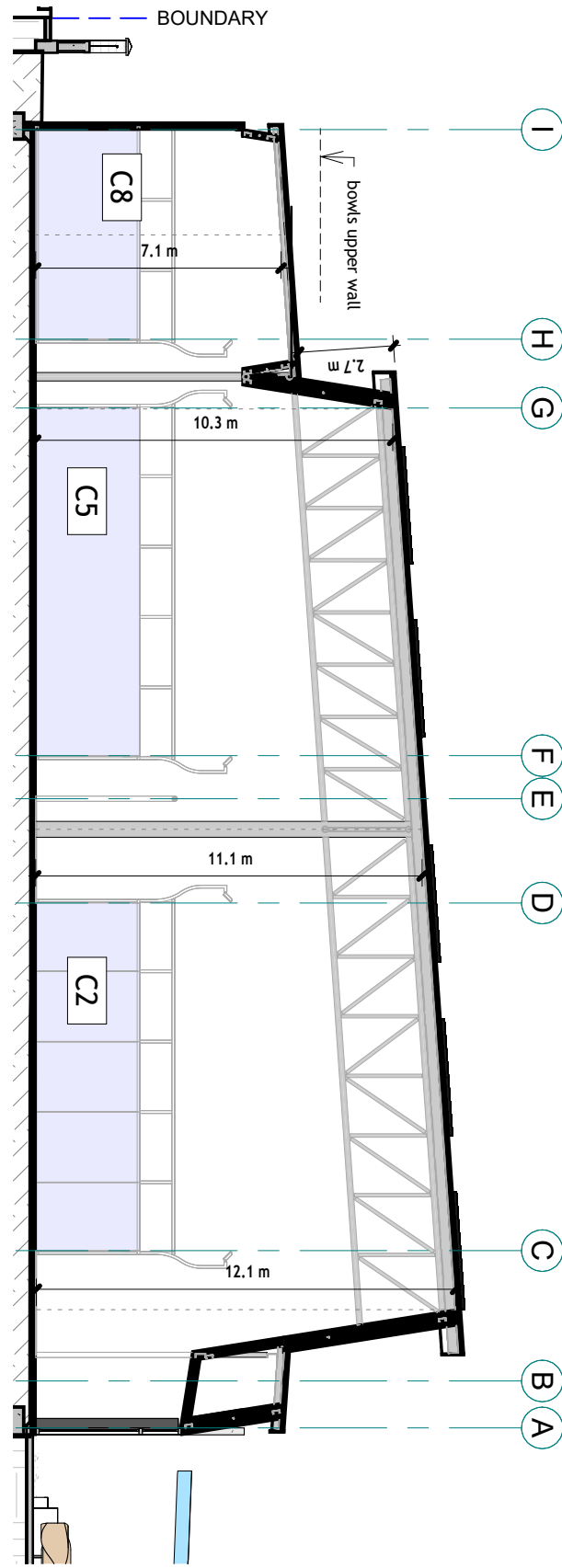
ROOF PLAN

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REVO SPORTS
SITE ADDRESS
78 Jones St, Stirling WA 6021

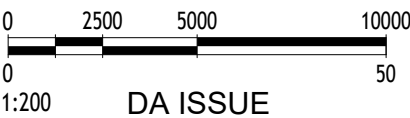
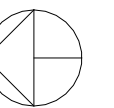
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DATE:	30/08/26	DRAWING:	A13
SCALE:	1 : 200 A2		
DRAWN:	WW		
JOB No:	161	REVISION:	DA5

Section Grid-4
1 : 200



Section C1-C3
1 : 200

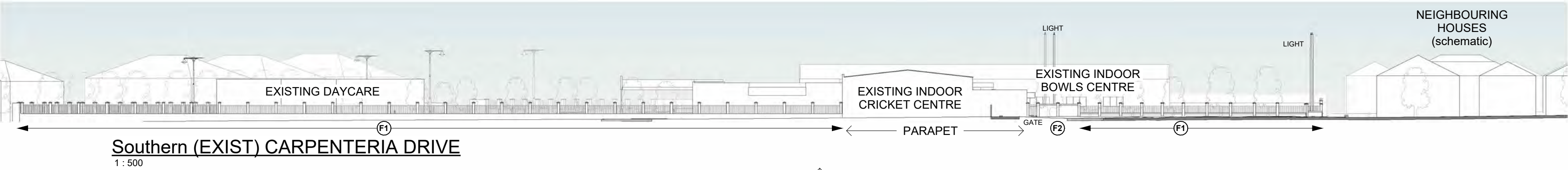
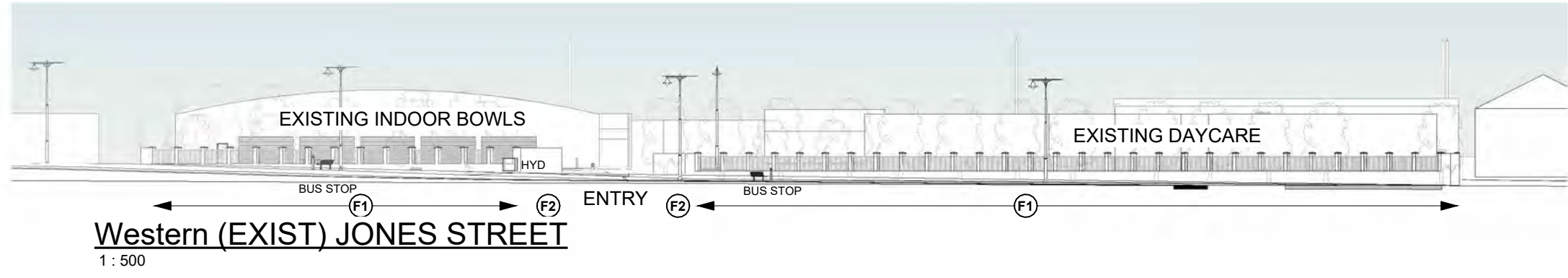
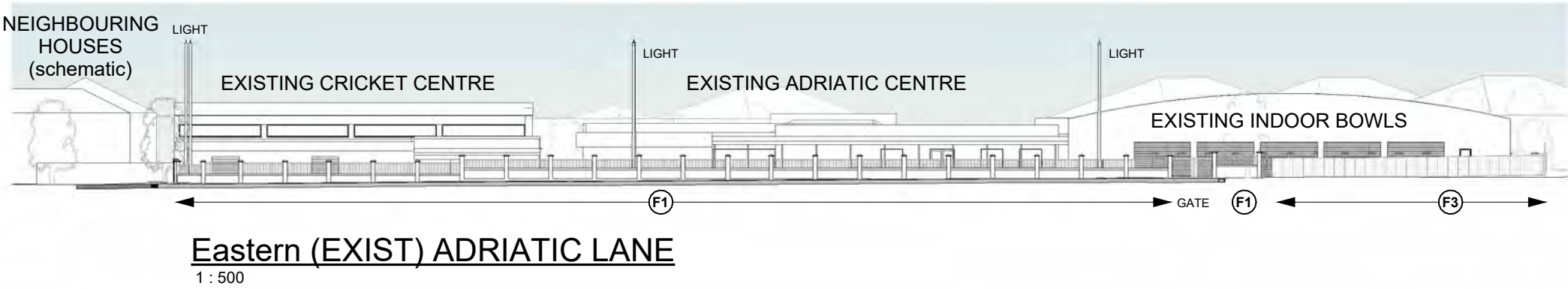
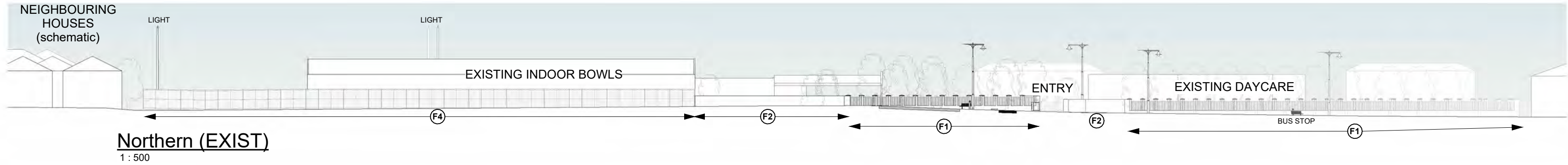


DA ISSUE

PROJECT
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CONCEPT PLANS/SECTIONS			
DATE:	30/08/26	DRAWING:	A71
SCALE:	1 : 200 A2	DRAWN:	
JOB No:	161	REVISION:	DA5

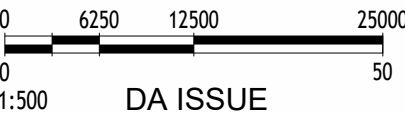
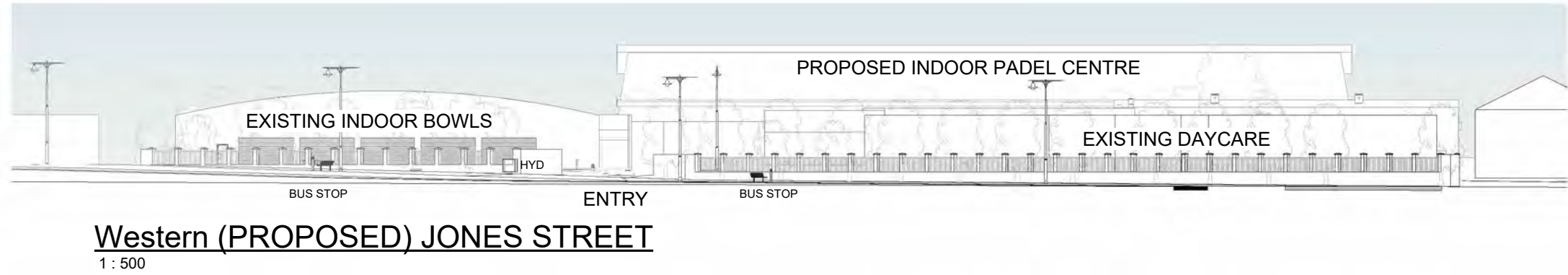
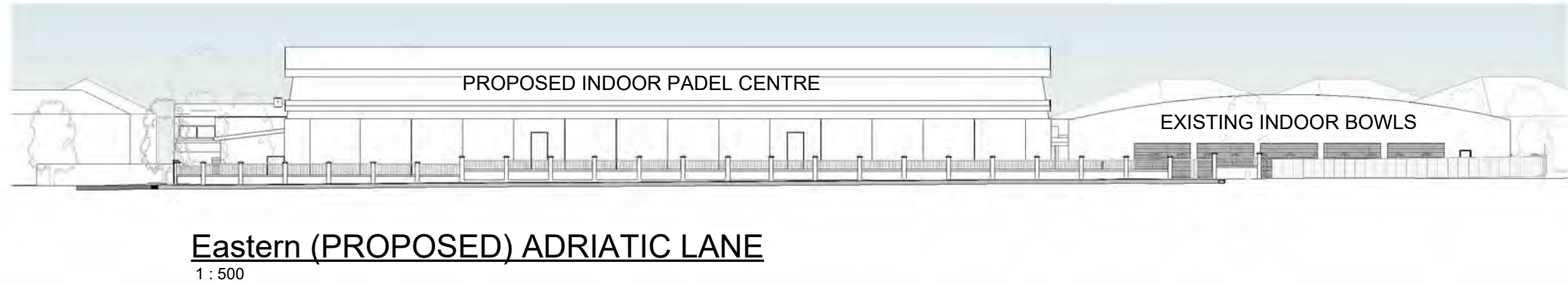
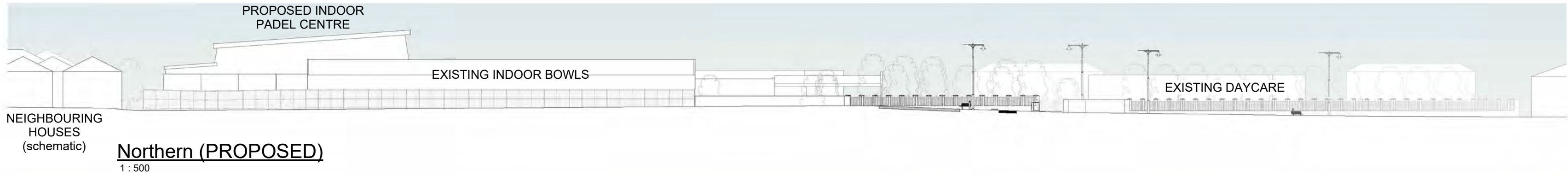


FENCE LEGEND

- (F1) FENCE: METAL RAIL FENCE ATOP LOW LIMESTONE WALL WITH PILLARS
- (F2) FENCE: 1.8m LIMESTONE WALL WITH PILLARS
- (F3) FENCE: 1.8m COLORBOND
- (F4) FENCE: 3.0m CHAINLINK
- (G1) VEHICLE GATE: METAL HINGED GATE (manual)
- (G2) PEDESTRIAN GATE: METAL HINGED GATE (manual)
- (T1) TREE: EXISTING MATURE TREE

↑
EXISTING ELEVATIONS

↓
PROPOSED ELEVATIONS
(fencing remaining)



PROJECT
INDOOR PADEL CENTRE

CLIENT
STIRLING ADRIATIC CENTRE

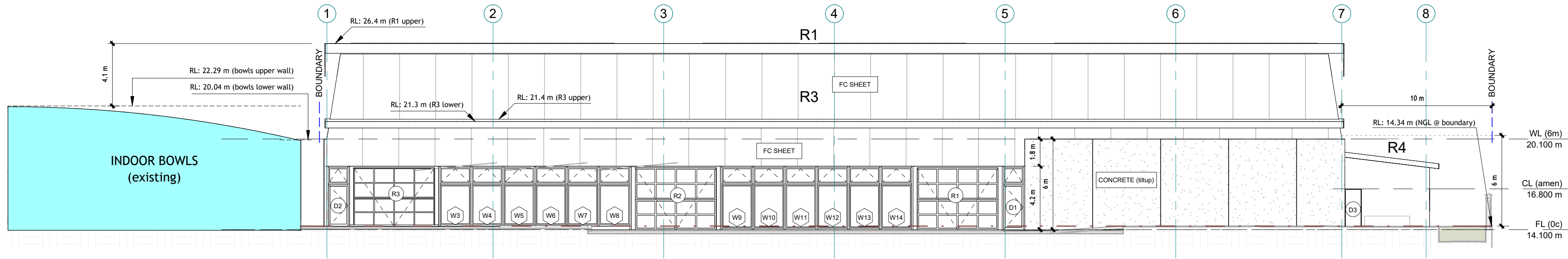
SITE ADDRESS
78 (lot 9000) JONES STREET, STIRLING WA 6021

Yael K

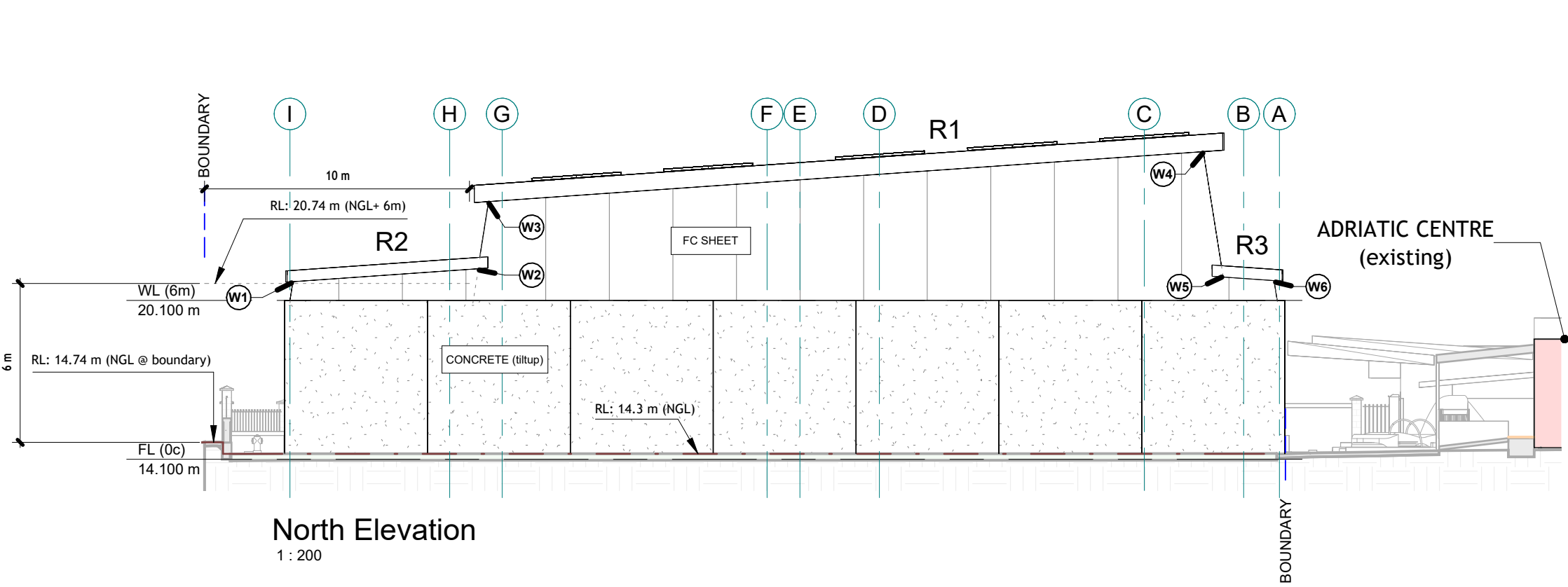
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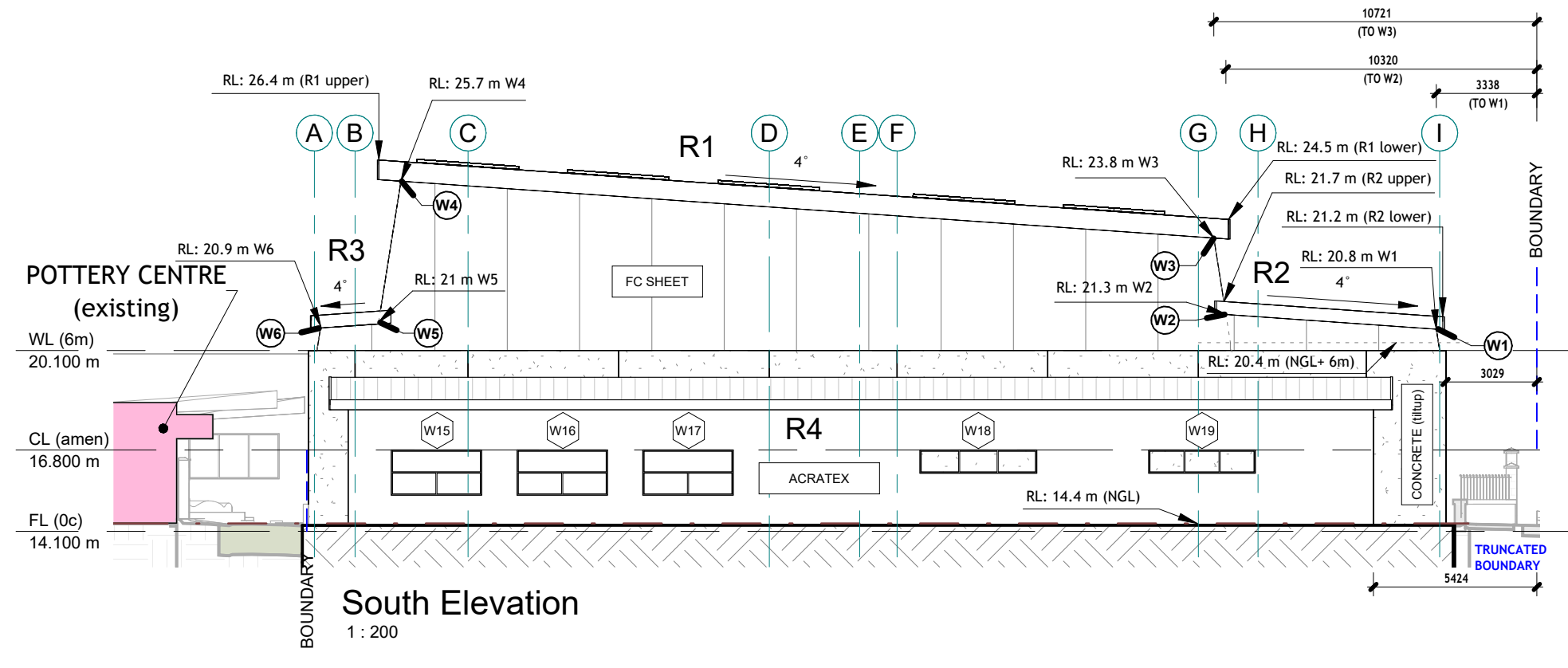
SITE BOUNDARY ELEVATIONS		
DATE:	30/07/26	DRAWING:
SCALE:	1 : 500 A2	A03
DRAWN:	WW	
JOB No:	161	REVISION:
		DA5



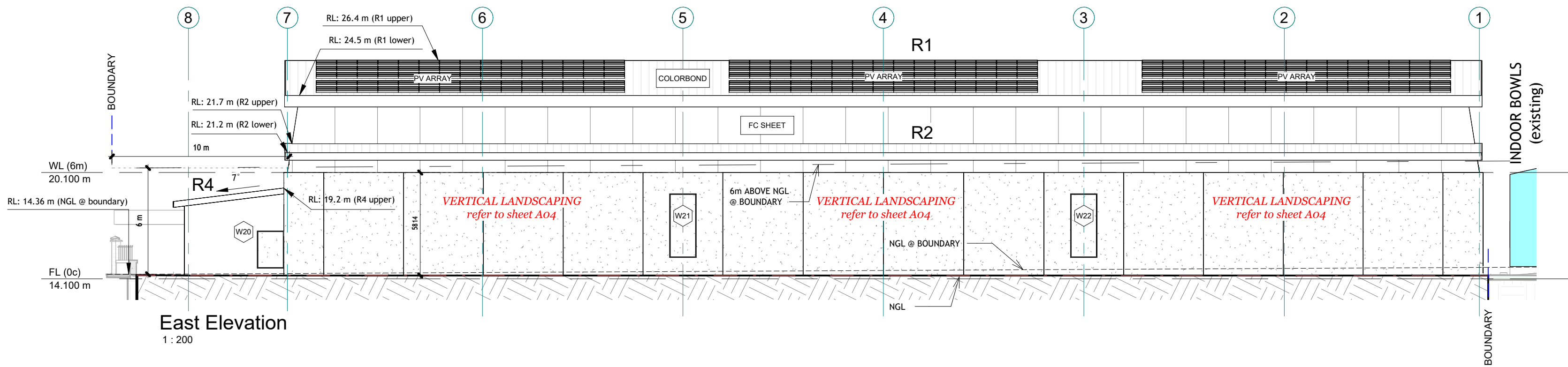
West Elevation
1 : 200



North Elevation
1 : 200



South Elevation
1 : 200



East Elevation
1 : 200

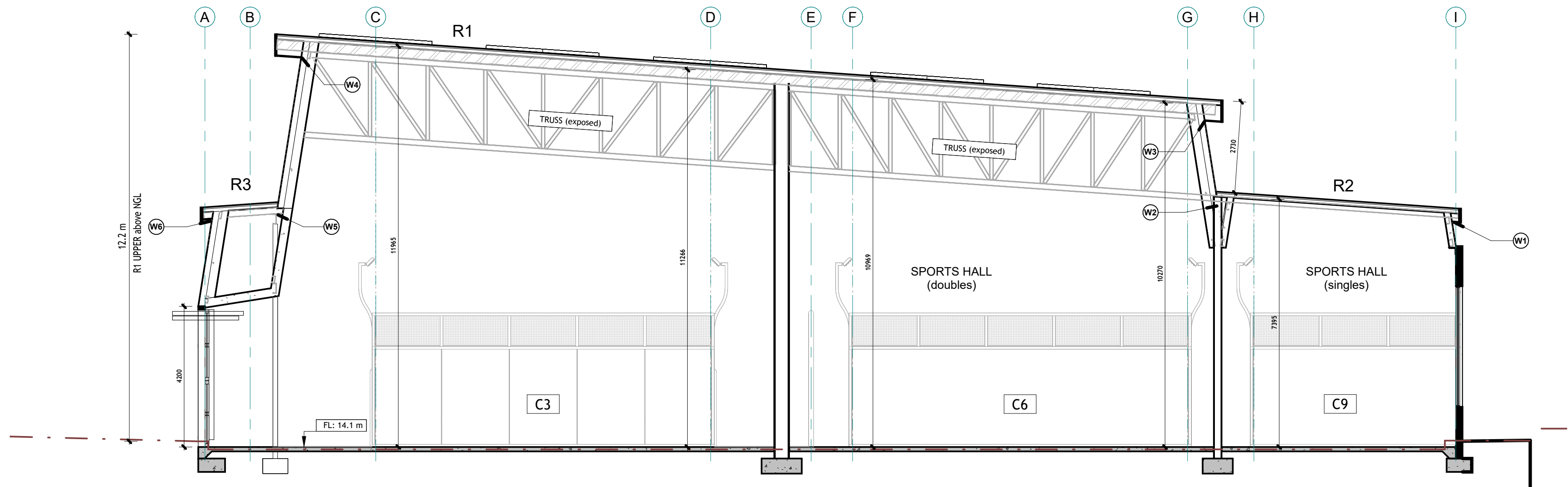
W WALL HEIGHT
(@ UNDERSIDE OF EAVE)
- - - NGL (natural ground level)

PROJECT
INDOOR PADEL CENTRE
CLIENT
REVO SPORTS
SITE ADDRESS
78 Jones St, Stirling WA 6021

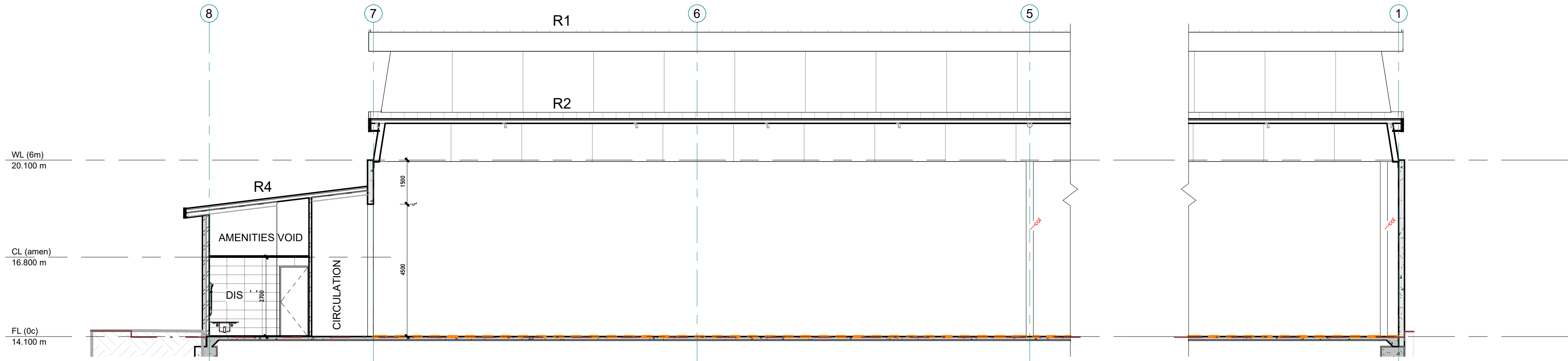
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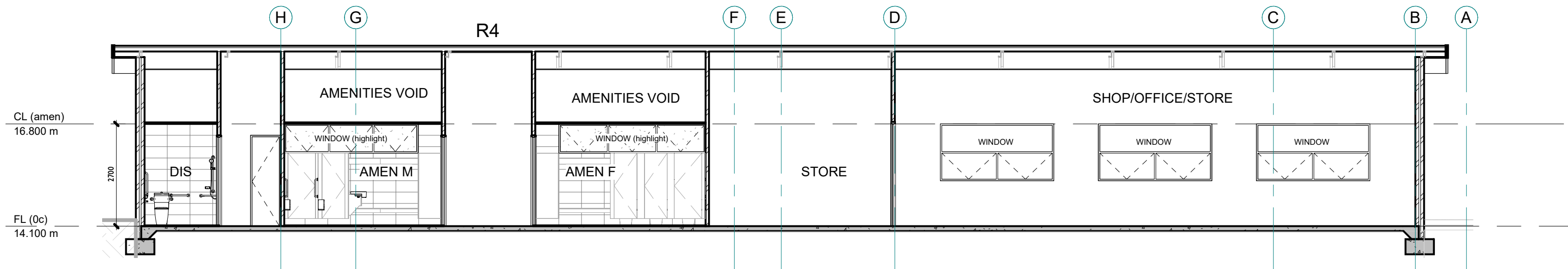
BUILDING ELEVATIONS			
DATE:	30/08/26	DRAWING:	A20
SCALE:	1 : 200 A2		
DRAWN:	WW		
JOB No:	161	REVISION:	DA5



C SECTION C-C
1:100



D SECTION D-D
1:100



E SECTION E-E
1:100

W WALL HEIGHT
(@ UNDERSIDE OF EAVE)
- - - NGL (natural ground level)

DA ISSUE

SECTIONS C-E

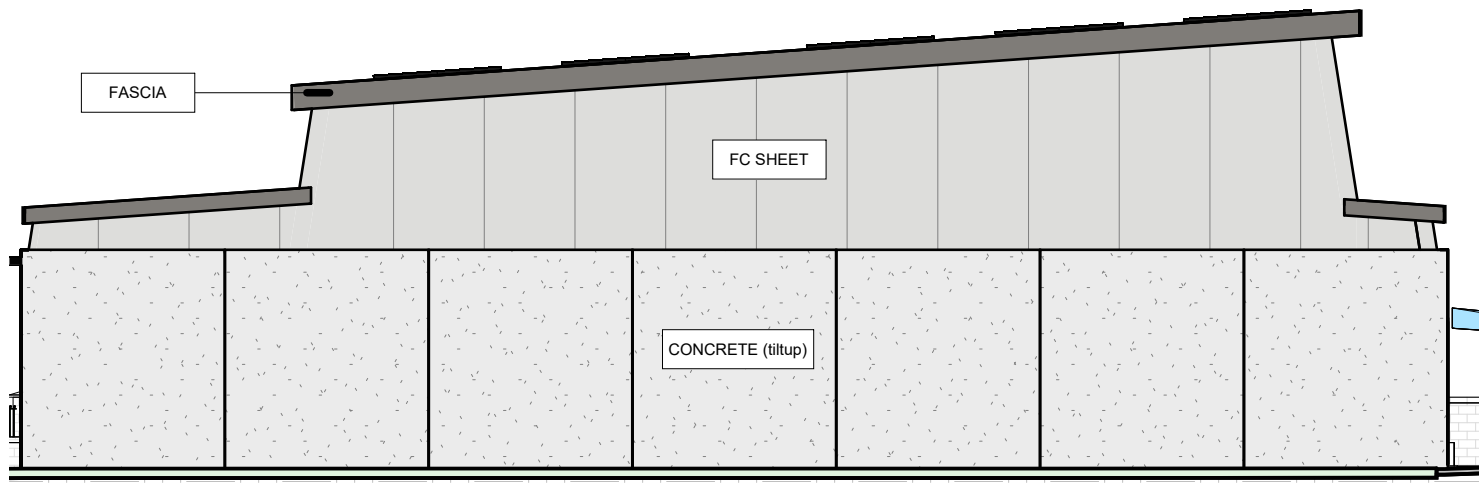
PROJECT
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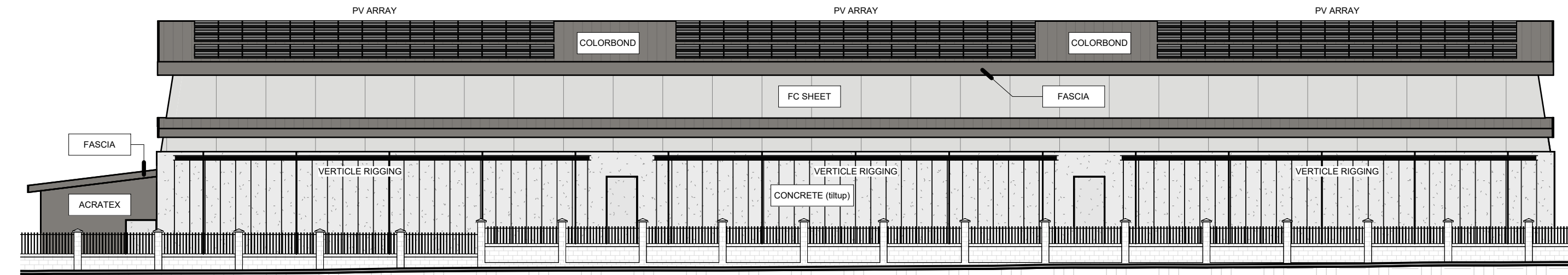
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DRAWN:	WW		
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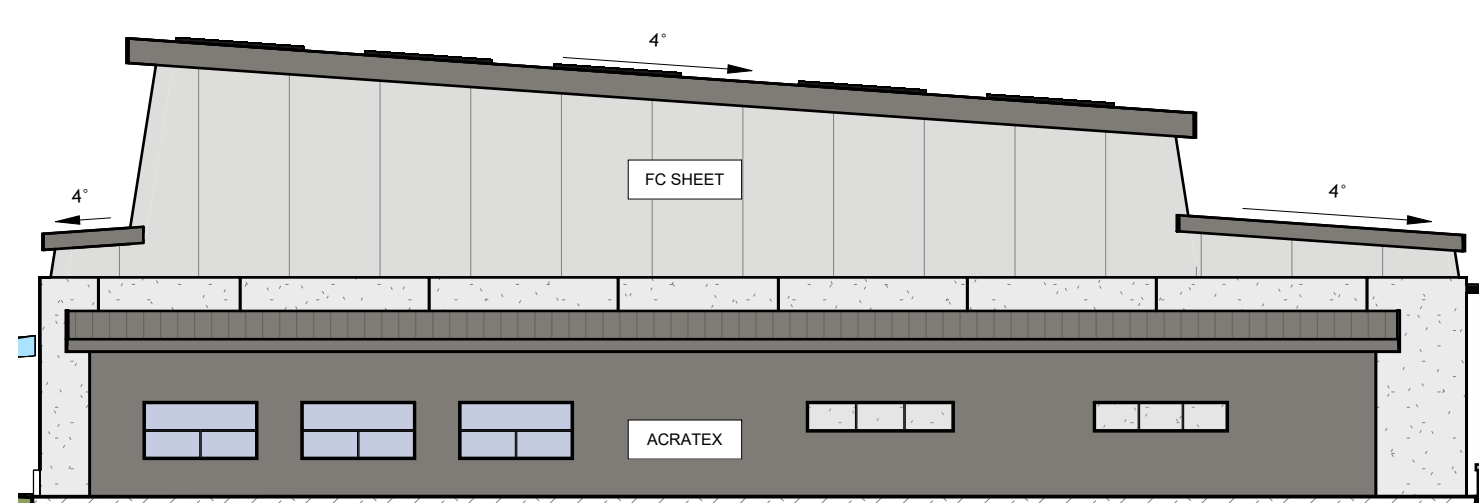
West Elevation
1 : 200



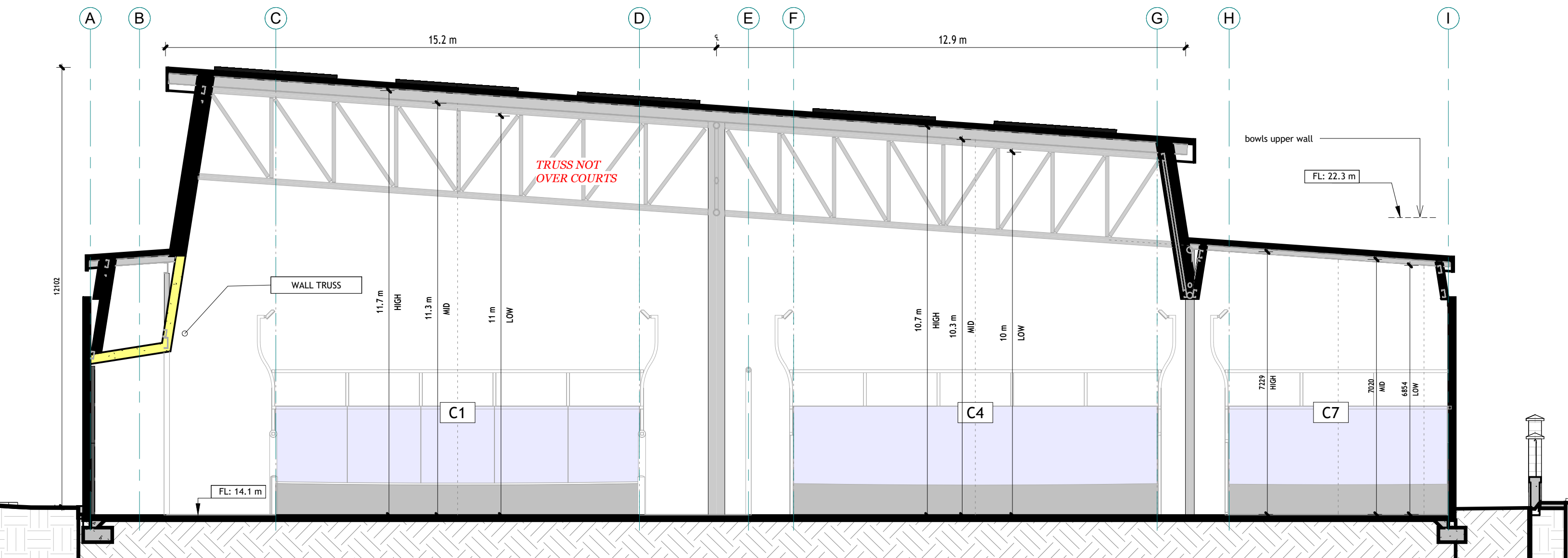
North Elevation
1 : 200



East Elevation
1 : 200



South Elevation
1 : 200



CROSS SECTION
1 : 100

MATERIALS & FINISHES

ROOFING:

- **COLORBOND:** Lysaght Klip-Lok "WALLABY"
- **FASCIA:** Colorbond "WALLABY"

WALLS:

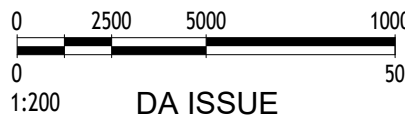
- **CONCRETE (tiltup):** Clear Coat Seal to Natural Concrete finish enhanced with Coloured Pigment "CCS APOLLO"
- **ACRATEX:** Dulux Acratex Coventry Course, Colour "WALLABY"
- **FC SHEET:** Innova Montage Concrete Smooth Plain

GLAZING:

- **FRAMES:** PVC Dark Grey
- **GLASS:** Double glazed Low E

FLOORING/PAVING:

- **CONCRETE:** Natural
- **PAVING (new/conc):** Exposed Agg "Light Finish"
- **DECKING:** NewTechWood Composite decking Colour "IPE"



PROJECT
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CONCEPT ELEVATIONS/SECTION			
DATE:	30/08/26	DRAWING:	A72
SCALE:	As indicated		
DRAWN:	WW		
JOB No:	161	REVISION:	DA5

PROPOSED CONVERSION OF EXISTING OUTDOOR LAWN BOWLS TO A "INDOOR PADEL CENTRE"

STIRLING ADRIATIC CENTRE, LOT 1010 #78 JONES STREET, STIRLING 6021

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DA Drawings - Sheet Index						
No	Sheet Name	Scale	Revision	Date	Revision Description	Size
0* SITE						
A00	COVER SHEET	As indicated	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A01	SITE PLAN EXISTING	As indicated	DA5	30/07/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A02	SITE PLAN PROPOSED	1 : 500	DA5	30/07/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A03	SITE BOUNDARY ELEVATIONS	1 : 500	DA5	30/07/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A04	LANDSCAPING PLAN	As indicated	DA5	30/07/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A05	FUTURE PARKING PLAN (not part of DA)	1 : 100	DA5	30/07/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A06	FUTURE COMMON AREA (not part of DA)	1 : 100	DA5	30/07/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A07	COUNCIL GUIDELINES OVERLAY	As indicated	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
1* PLANS						
A10	FLOOR PLAN (exist/demo+survey)	1 : 200	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A11	FLOOR PLAN (proposed)	1 : 200	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A12	REFLECTED CEILING PLAN	1 : 200	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A13	ROOF PLAN	1 : 200	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
2* ELEVATIONS						
A20	BUILDING ELEVATIONS	1 : 200	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
3* SECTIONS						
A30	SECTIONS C-E	1 : 100	DA4	24/07/26	PARKING ADDED, DESIGN DEVELOPMENT	A2
7* COLOURED CONCEPT DRAWINGS						
A70	CONCEPT IMAGES		DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A71	CONCEPT PLANS/SECTIONS	1 : 200	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2
A72	CONCEPT ELEVATIONS/SECTION	As indicated	DA5	30/08/26	GENERAL UPDATES, PLANNING APPROVAL ISSUE	A2

LAND OWNER "ADRIATIC CENTRE INC

NCC CLASSIFICATION

- Building classifications 9b
- Construction TYPE C

ENERGY/SUSTAINABILITY

- Rooftop Solar and Storage:** Propose large commercial solar arrays paired with battery systems to offset heavy daytime and evening loads.
- LED and Smart Lighting:** Automated court lighting system, along with motion-sensors to switch off empty zones automatically.
- Efficient HVAC:** high-efficiency Evaporative Cooling tied to smart thermostats and zone timers to prevent wasted cooling.
- Landscaping:** Native, drought-tolerant plants around the building perimeter and permeable paving to manage stormwater runoff.
- Low-E Double Glazing**

MATERIALS & FINISHES

ROOFING:

- COLORBOND:Lysaght Klip-Lok "WALLABY"
- FASCIA: Colorbond "WALLABY"

WALLS:

- CONCRETE (tiltup):** Clear Coat Seal to Natural Concrete finish enhanced with Coloured Pigment "CCS APOLLO"
- ACRATEx:** Dulux Acratex Coventry Course, Colour "WALLABY"
- FC SHEET:** Innova Montage Concrete Smooth Plain

GLAZING:

- FRAMES:** PVC Dark Grey
- GLASS:** Double glazed Low E

FLOORING/PAVING:

- CONCRETE:** Natural
- PAVING (new/conc):** Exposed Agg "Light Finish"
- DECKING:** NewTechWood Composite decking Colour "IPE"

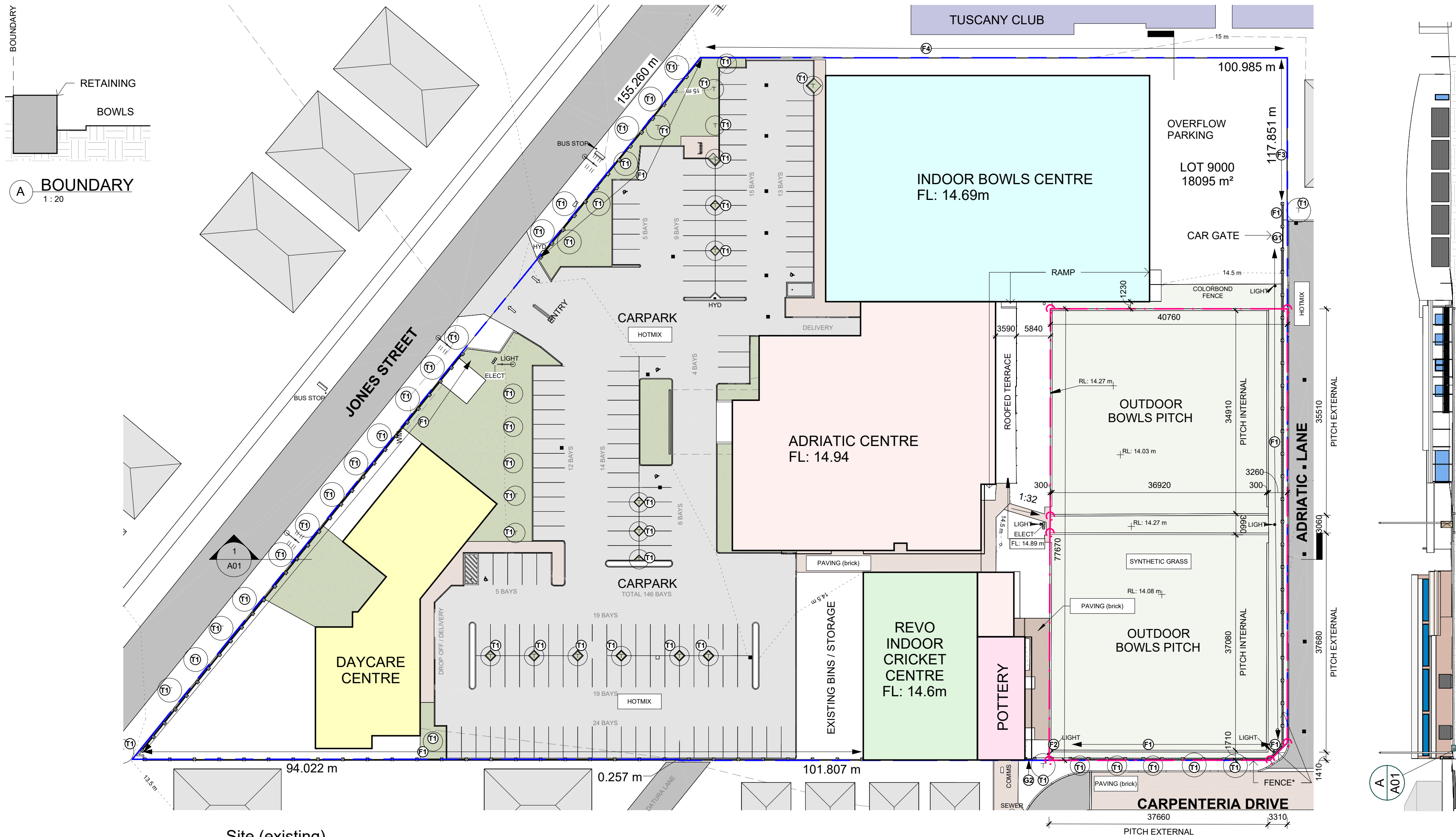


PROPOSED INDOOR PADEL CENTRE INTERIOR VIEW



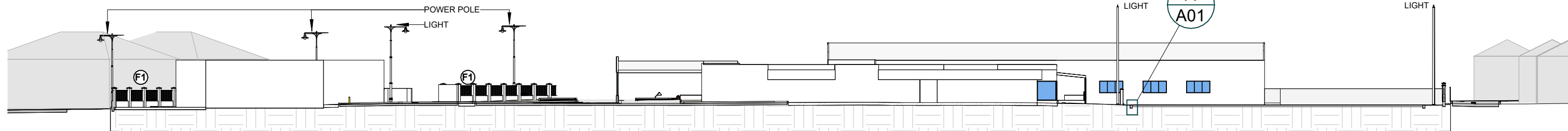
PROPOSED INDOOR PADEL CENTRE VIEWED FROM SOUTH EAST
(Corner of Carpenteria Drive and Adriatic Lane)

DA ISSUE

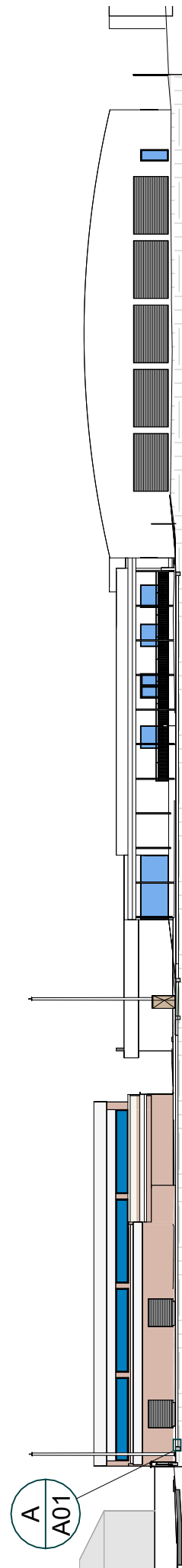


Site (existing)
1 : 500

- FENCE LEGEND**
- (F1) FENCE: METAL RAIL FENCE ATOP LOW LIMESTONE WALL WITH PILLARS
 - (F2) FENCE: 1.8m LIMESTONE WALL WITH PILLARS
 - (F3) FENCE: 1.8m COLORBOND
 - (F4) FENCE: 3.0m CHAINLINK
 - (G1) VEHICLE GATE: METAL HINGED GATE (manual)
 - (G2) PEDESTRIAN GATE: METAL HINGED GATE (manual)
 - (T1) TREE: EXISTING MATURE TREE



Section Site E/W Walkway (exist)
1 : 500

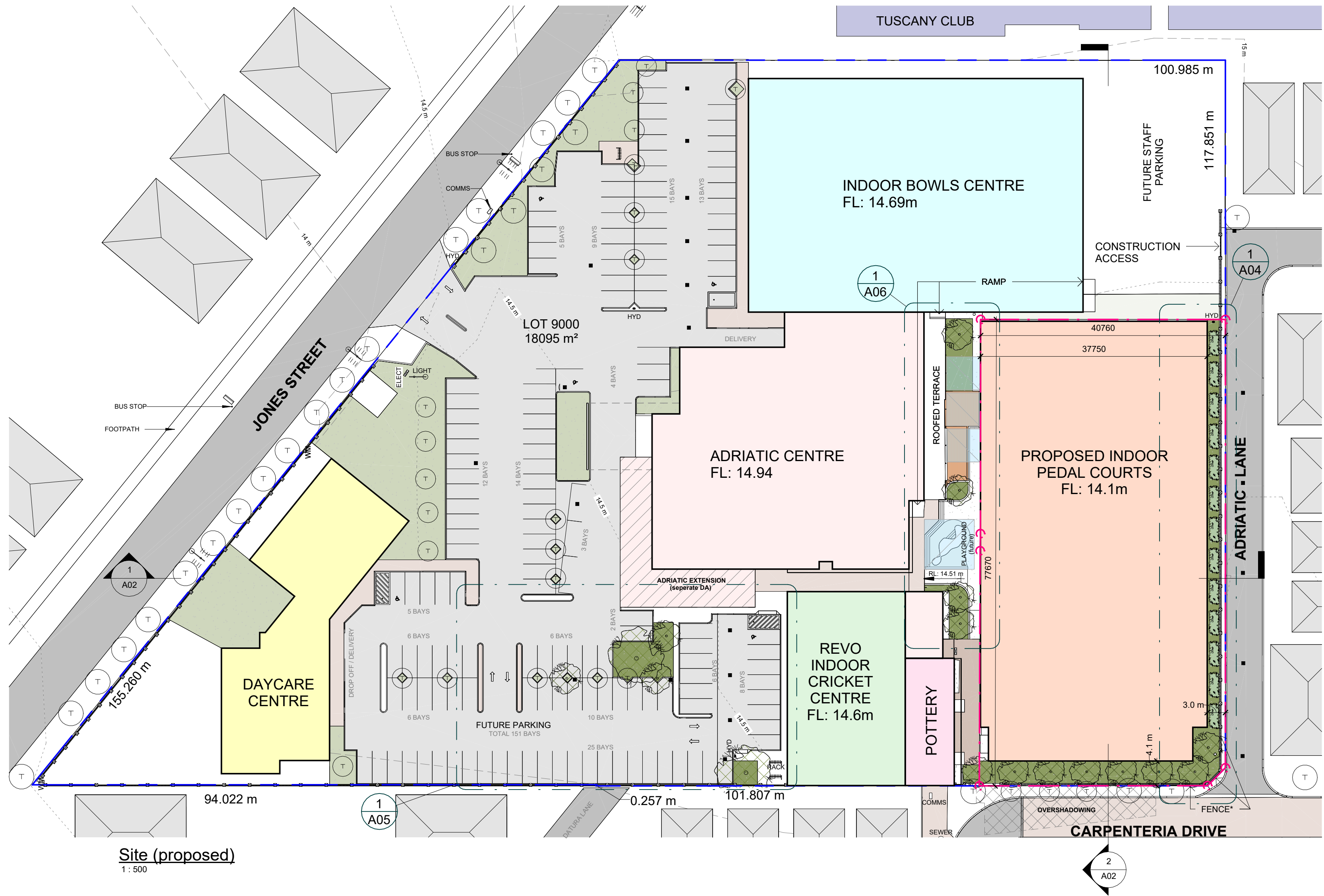


Section Site N/S (exist)
2 : 1 : 500

PROJECT
INDOOR PADEL CENTRE
CLIENT
STIRLING ADRIATIC CENTRE
SITE ADDRESS
78 (lot 9000) JONES STREET, STIRLING WA 6021

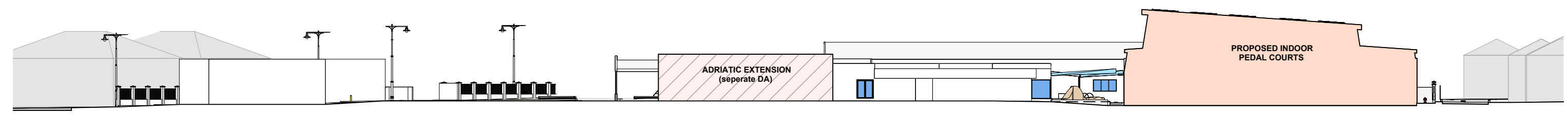
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SITE PLAN EXISTING			
DATE:	30/07/26	DRAWING:	A01
SCALE:	As indicated		
DRAWN:	WW		
JOB No:	161	REVISION:	DA5

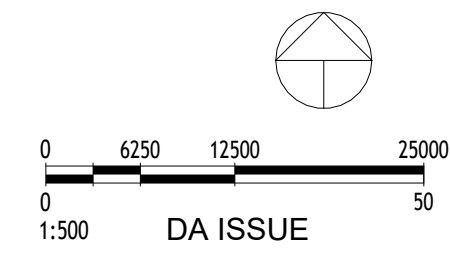


Site (proposed)
1 : 500

Section Site N/S (new)
1 : 500



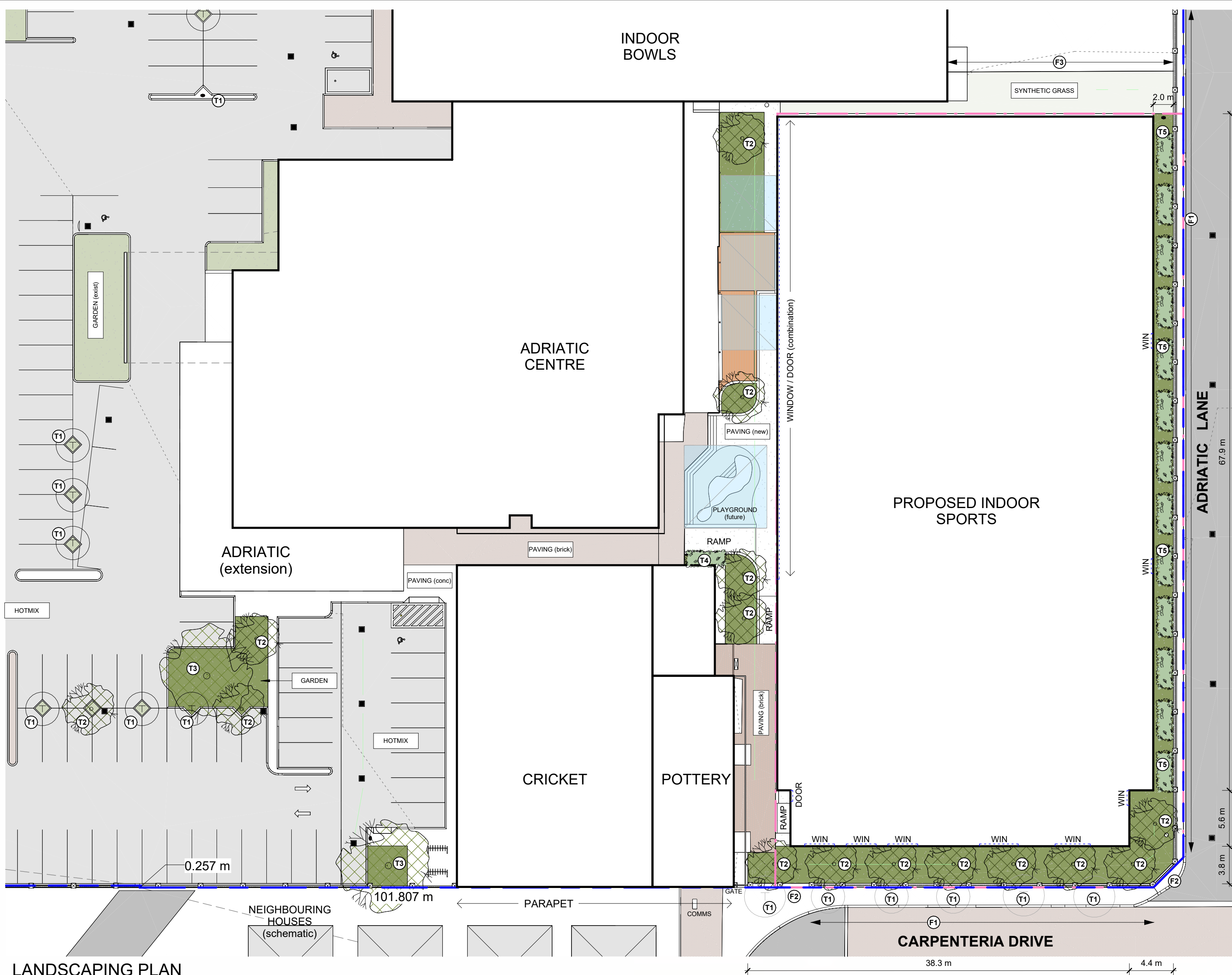
1 Section Site E/W Walkway (new)
1 : 500



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SITE PLAN PROPOSED			
DATE:	30/07/26	DRAWING:	A02
SCALE:	1 : 500 A2	DRAWN:	WW
JOB No:	161	REVISION:	DA5



LANDSCAPE LEGEND

- (T1) TREE: EXISTING TREE (shown outline only)
 - (T2) TREE: NEW TREE (medium)
(located in deep soil 1.8m of fence/building)
 - (T3) TREE: NEW TREE (large)
(located in deep soil)
 - (T4) LOWER INFILL NATIVE PLANTS
 - (T5) 2m WIDE LANDSCAPING STRIP CONTAINING
 - LOWER INFILL NATIVE PLANTS
 - GREEN WALL: S.S RIGGING CABLES
(6m high vertical fixed to wall)
 - LOW VOLTAGE SOFT UPLIGHTS SCATTER ALONG BOUNDARY
- GENERAL:
- WATERWISE IRRIGATION / RETICULATION SYSTEMS
 - LOW FLOW TRIPLE DRIPPERS ON TIMER
 - 100MM (MINIMUM) OF MULCH IN SOIL AREAS

FENCE LEGEND

- (F1) FENCE: METAL RAIL FENCE ATOP LOW LIMESTONE WALL WITH PILLARS
- (F2) FENCE: 1.8m LIMESTONE WALL WITH PILLARS
- (F3) FENCE: 1.8m COLORBOND
- (F4) FENCE: 3.0m CHAINLINK
- (G1) VEHICLE GATE: METAL HINGED GATE (manual)
- (G2) PEDESTRIAN GATE: METAL HINGED GATE (manual)
- (T1) TREE: EXISTING MATURE TREE



EXAMPLE PHOTO OF RIGGING

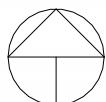


AERIAL VIEW FROM SOUTH WEST



LANDSCAPING EAST (detail)

1:100



DA ISSUE

LANDSCAPING PLAN

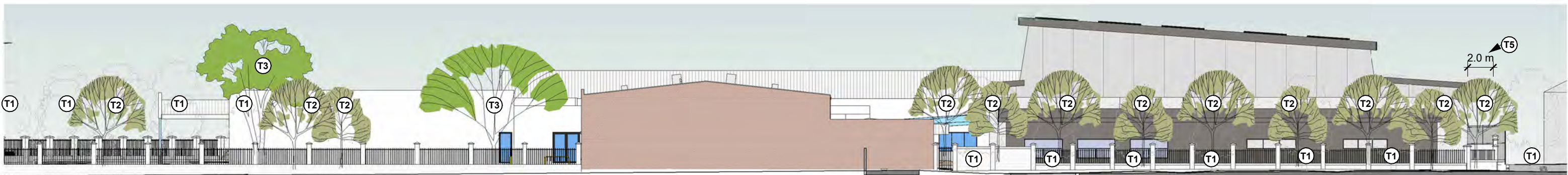
DATE:	30/07/26	DRAWING:	A04
SCALE:	As indicated		
DRAWN:	WW		
JOB No:	161	REVISION:	DA5

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SITE ADDRESS
78 (lot 9000) JONES STREET, STIRLING WA 6021

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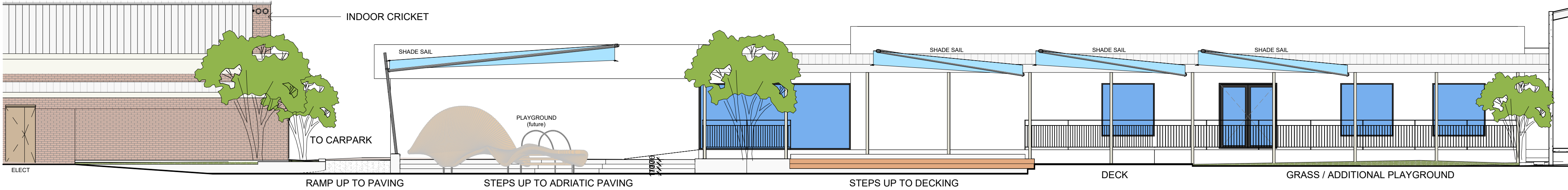
LANDSCAPING PLAN

1:300



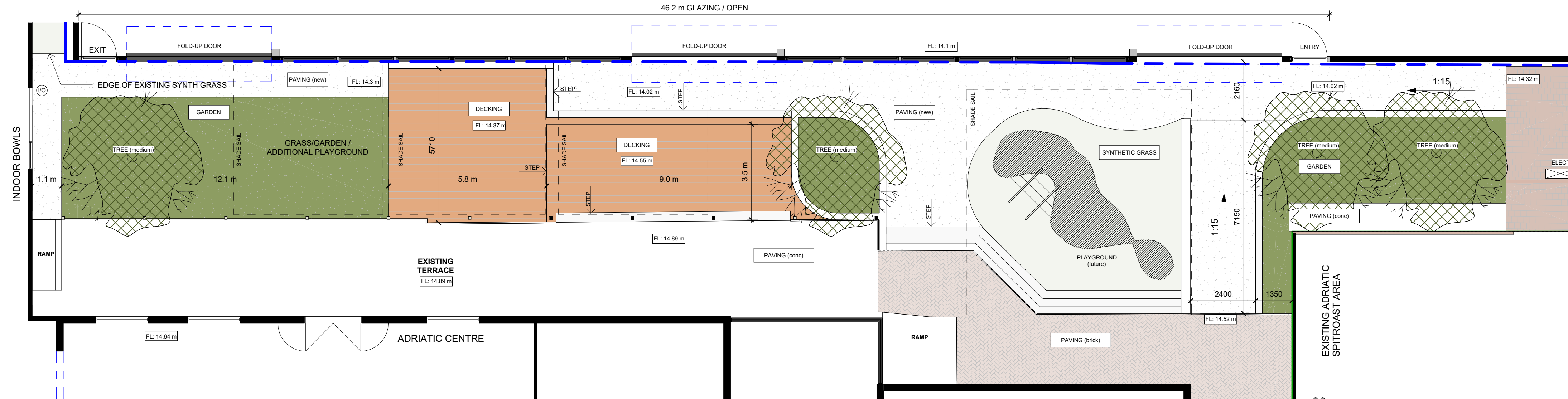
LANDSCAPING SOUTH

1:300



2 ELEVATION TOWARDS ADRIATIC CENTRE
1 : 100

INDICATIVE ONLY NOT PART OF DA



1 PLAYGROUND PLAN
1 : 100

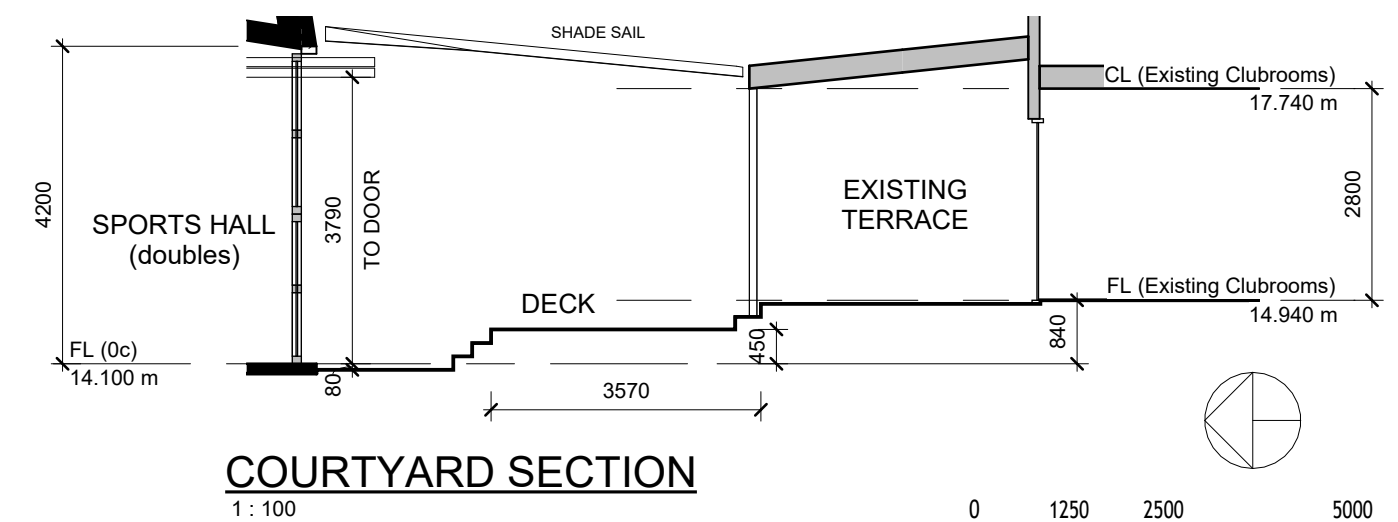
INDICATIVE ONLY NOT PART OF DA



CENTRAL COURTYARD LOOKING NORTH TOWARDS ADRIATIC CENTRE



LOOKING EAST FROM ADRIATIC CENTRE



COURTYARD SECTION
1 : 100

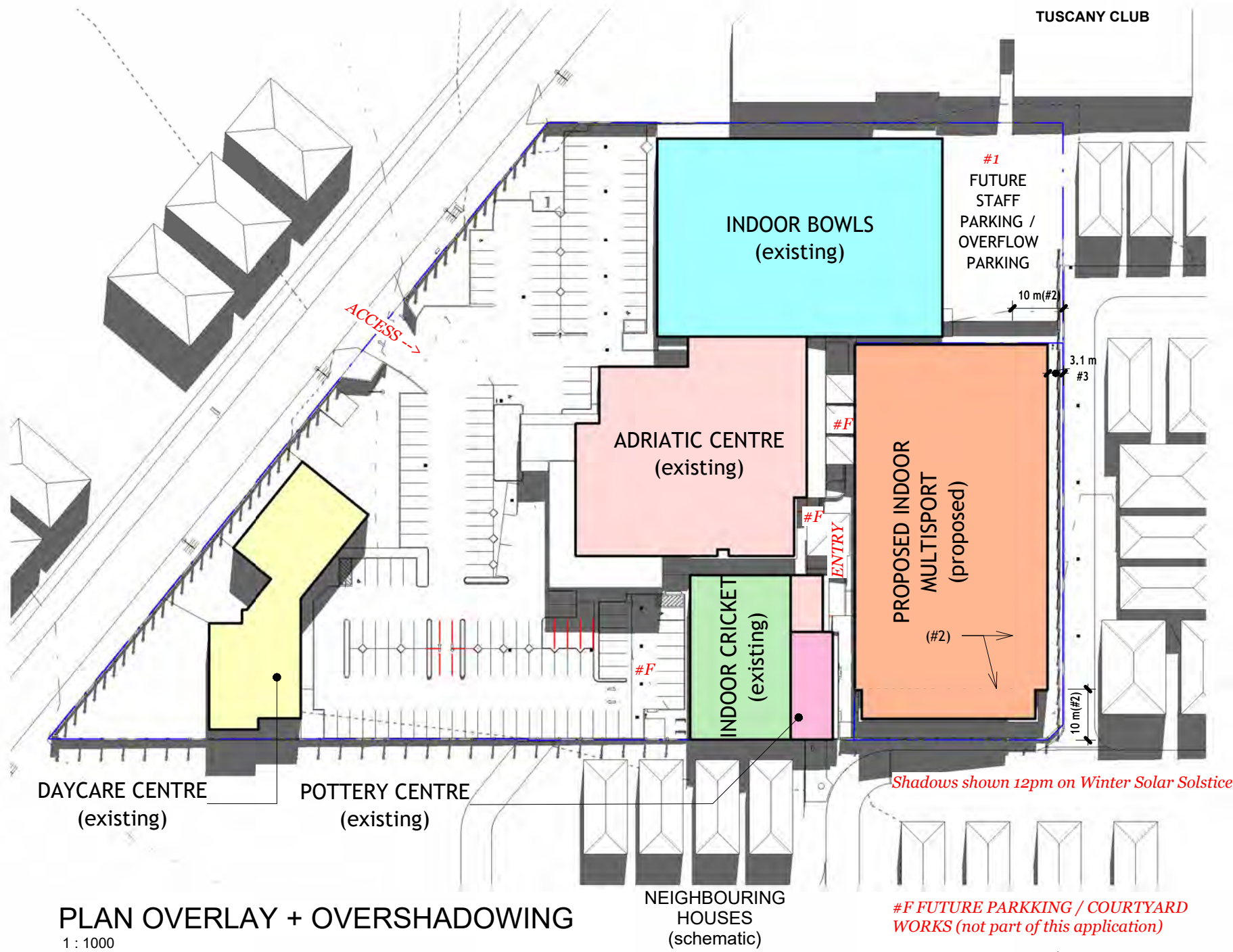
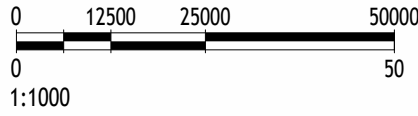
0 1250 2500 5000
0 50
1:100 DA ISSUE

FUTURE COMMON AREA (not part of DA)			
DATE:	30/07/26	DRAWING:	A06
SCALE:	1 : 100 A2		
DRAWN:	WW		
JOB No:	161	REVISION:	DA5

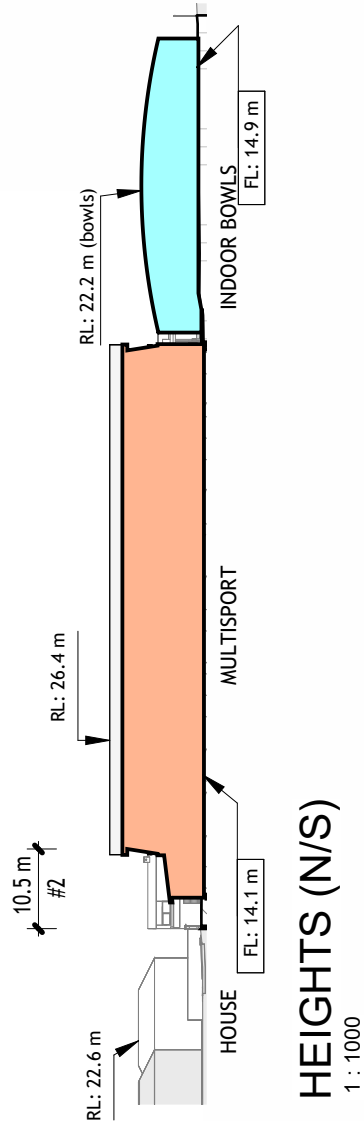
City of Stirling
18 Aug 2026
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PROJECT
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CLIENT
STIRLING ADRIATIC CENTRE
SITE ADDRESS
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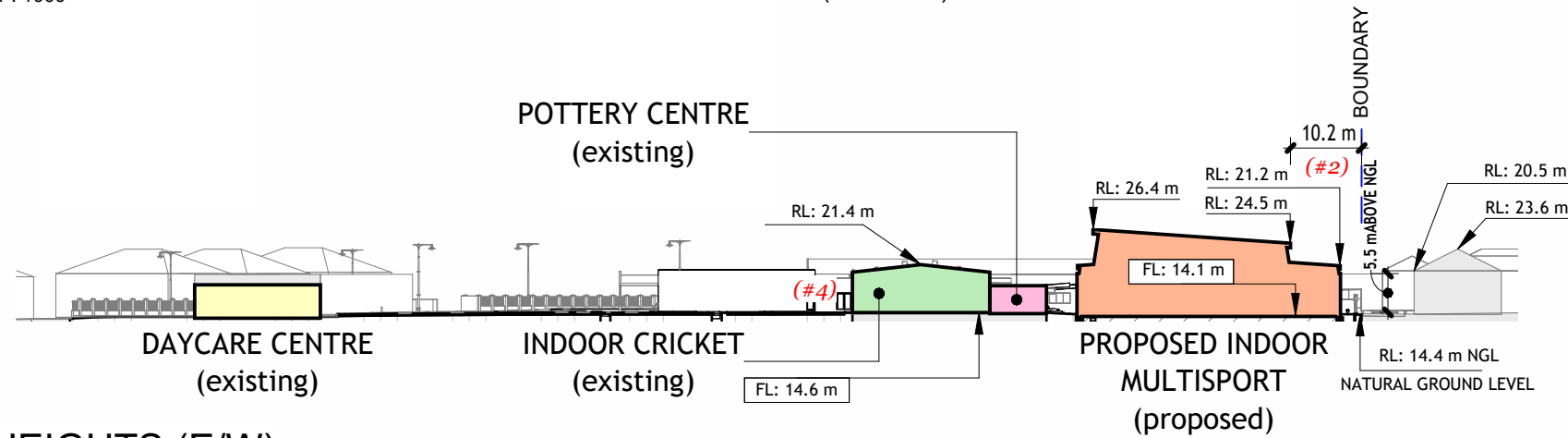
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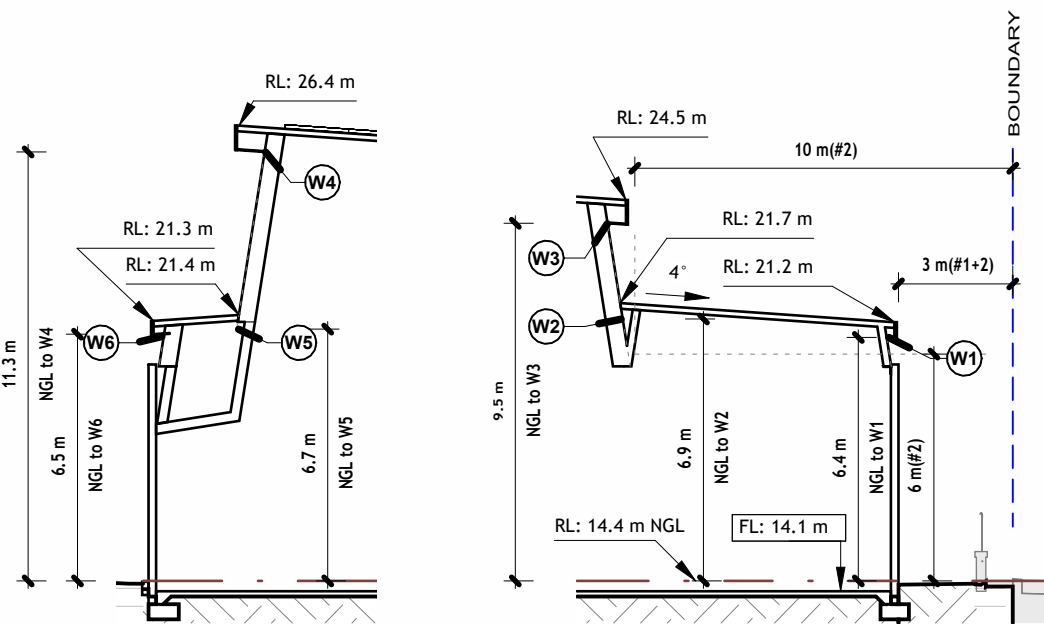
PLAN OVERLAY + OVERSHADOWING
1 : 1000



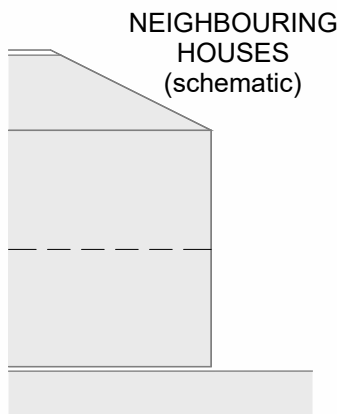
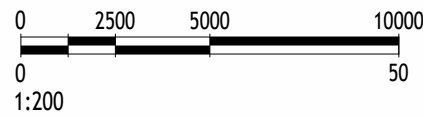
HEIGHTS (N/S)
1 : 1000



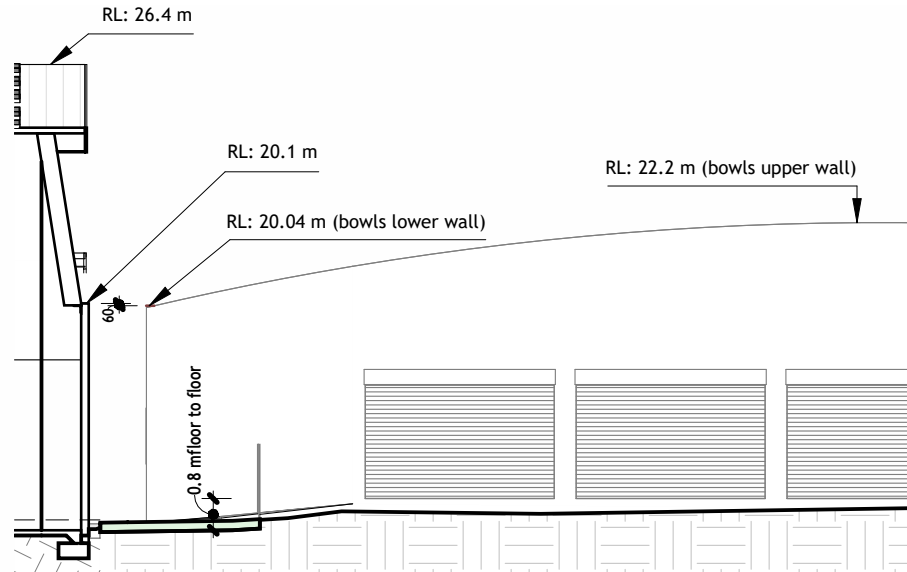
HEIGHTS (E/W)
1 : 1000



HEIGHTS (E/W) - ENLARGED
1 : 200



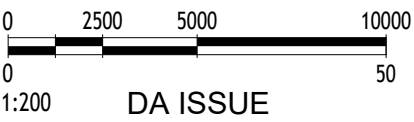
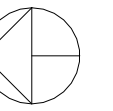
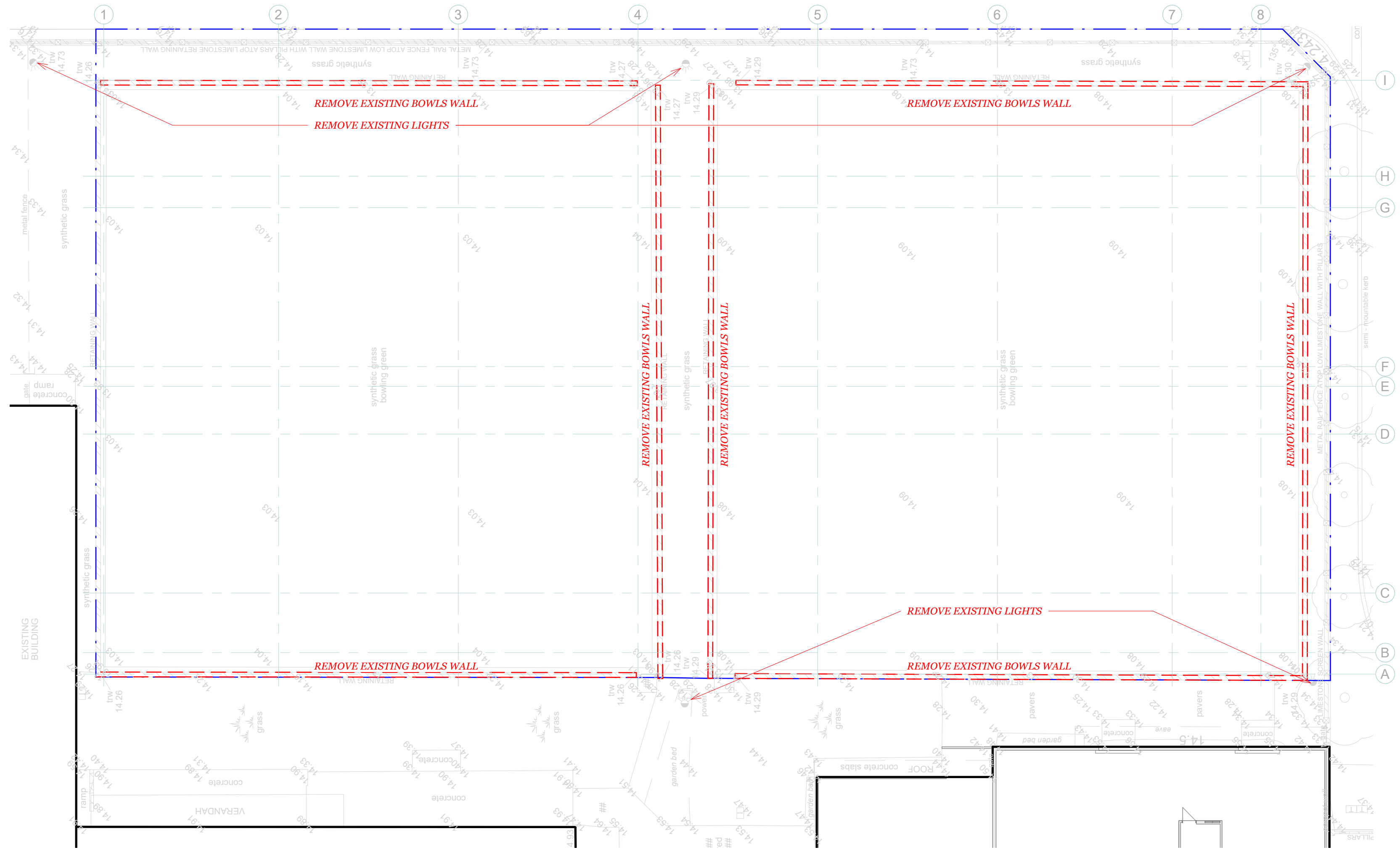
HEIGHTS (N/S) - ENLARGED
1 : 200



PROJECT
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COUNCIL GUIDELINES OVERLAY			
DATE:	30/08/26	DRAWING:	A07
SCALE:	As indicated	DRAWN:	WW
JOB No:	161	REVISION:	DA5



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FLOOR PLAN (exist/demo+survey)		
DATE:	30/08/26	DRAWING: A10
SCALE:	1 : 200 A2	
DRAWN:	WW	
JOB No:	161	
		REVISION: DA5



SOUTH EAST AERIAL VIEW



VIEW FROM ADRIATIC TERRACE



VIEW FROM ENTRY



SOUTH EAST STREET VIEW



SOUTH WEST STREET VIEW



VIEW FROM COURT 1



VIEW FROM COURT 3



CENTRAL VIEW

DA ISSUE

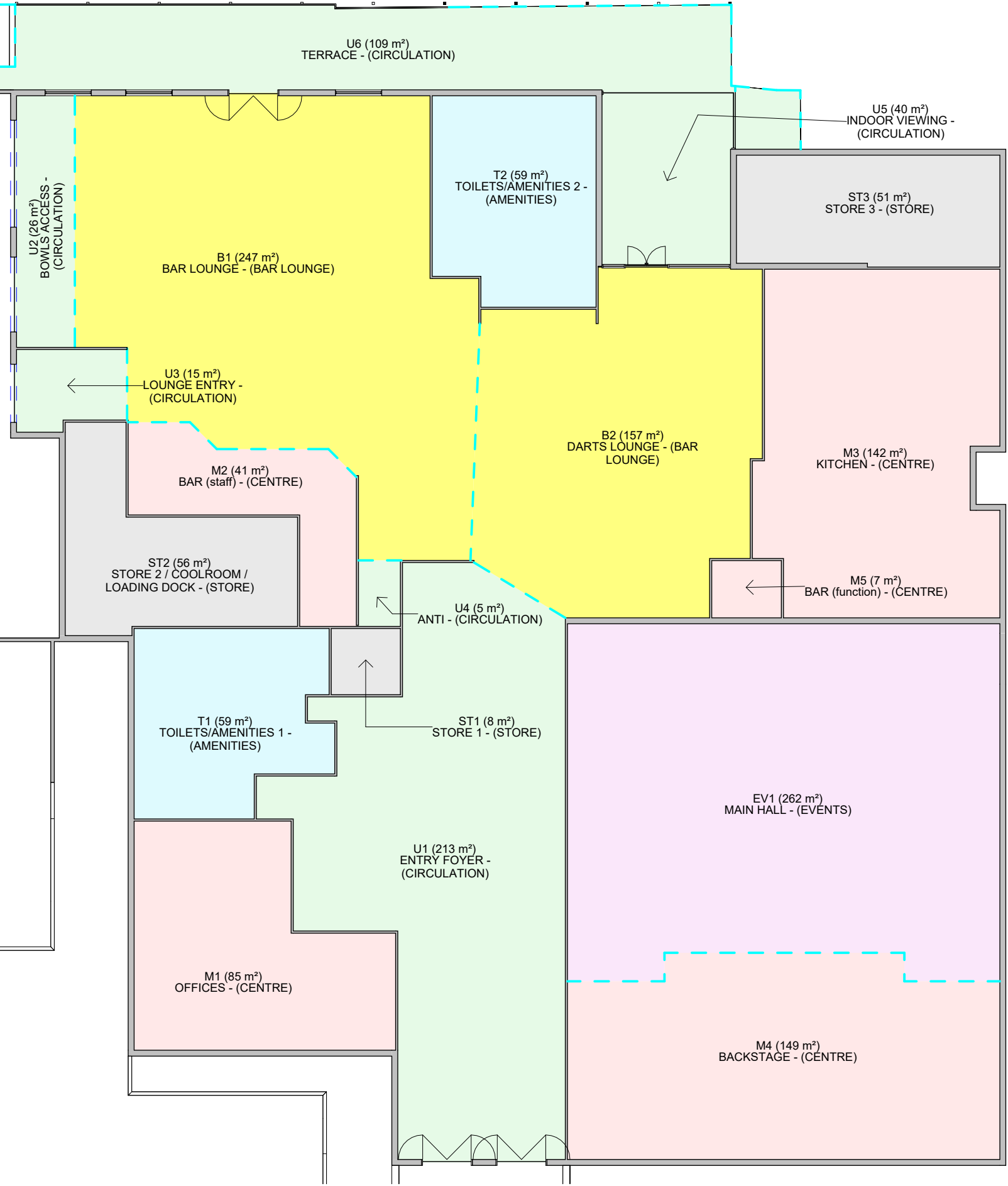
CONCEPT IMAGES

DATE:	30/08/26	DRAWING:	A70
SCALE:	A2		
DRAWN:	WW		
JOB No:	161	REVISION:	DA5

City of Stirling
18 Aug 2026
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LEGEND

- AMENITIES
- BAR LOUNGE
- CENTRE
- CIRCULATION
- EVENTS
- STORE

ADRIATIC CENTRE USAGE

1 : 200

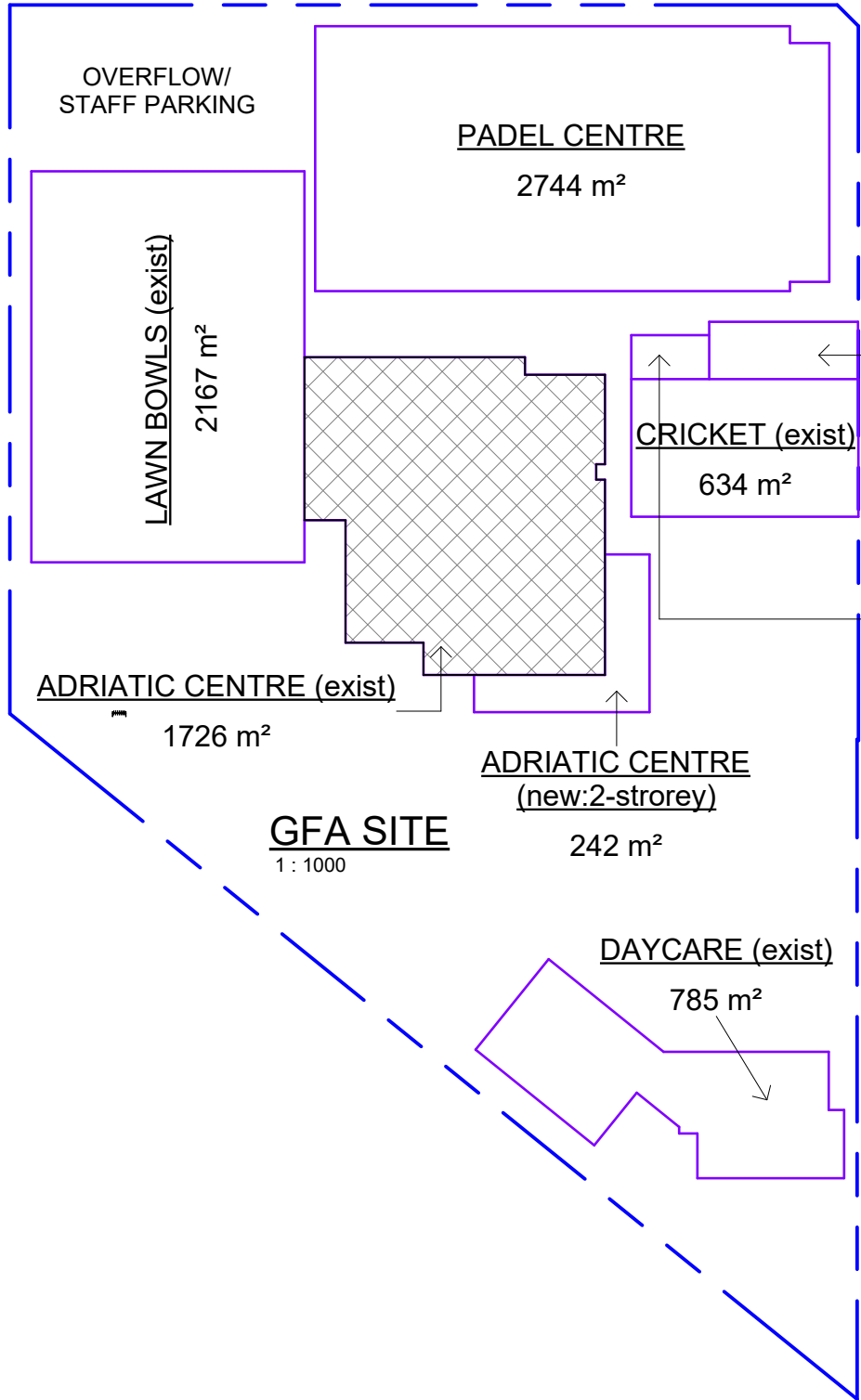
ADRIATIC CENTRE FLOOR AREA USAGE					
REF	NAME	USAGE	AREA	PARKING REQS	REQ BAYS
B1	BAR LOUNGE	BAR LOUNGE	247 m²	1 bay per 10m2 of public floorspace	25
B2	DARTS LOUNGE	BAR LOUNGE	157 m²	1 bay per 10m2 of public floorspace	16
EV1	MAIN HALL	EVENTS	262 m²	1 bay per 10m2 of public floorspace	27
M1	OFFICES	CENTRE	85 m²	(not part of parking calcs)	0
M2	BAR (staff)	CENTRE	41 m²	(not part of parking calcs)	0
M3	KITCHEN	CENTRE	142 m²	(not part of parking calcs)	0
M4	BACKSTAGE	CENTRE	149 m²	(not part of parking calcs)	0
M5	BAR (function)	CENTRE	7 m²	(not part of parking calcs)	0
ST1	STORE 1	STORE	8 m²	(not part of parking calcs)	0
ST2	STORE 2 / COOLROOM / LOADING DOCK	STORE	56 m²	(not part of parking calcs)	0
ST3	STORE 3	STORE	51 m²	(not part of parking calcs)	0
T1	TOILETS/AMENITIES 1	AMENITIES	59 m²	(not part of parking calcs)	0
T2	TOILETS/AMENITIES 2	AMENITIES	59 m²	(not part of parking calcs)	0
U1	ENTRY FOYER	CIRCULATION	213 m²	(not part of parking calcs)	0
U2	BOWLS ACCESS	CIRCULATION	26 m²	(not part of parking calcs)	0
U3	LOUNGE ENTRY	CIRCULATION	15 m²	(not part of parking calcs)	0
U4	ANTI	CIRCULATION	5 m²	(not part of parking calcs)	0
U5	INDOOR VIEWING	CIRCULATION	40 m²	(not part of parking calcs)	0
U6	TERRACE	CIRCULATION	109 m²	(not part of parking calcs)	0
U7	RAMP	CIRCULATION	7 m²	(not part of parking calcs)	0

Carpark Workings

Creator Wesley Wark Created Jul 17, 2026, 15:58 Last updated Jul 20, 2026, 12:13

- The existing provision of on-site car parking spaces; 146 Bays - (including 5 Disabled)
- The proposed provision of car parking spaces; 151 Bays - (including 5 Disabled)
- DWG CP1 + TABLE BELOW

LAND USAGE RATIOS (6.7 PARKING AND ACCESS POLICY)	ADRIATIC CENTRE (food and beverage/ club premises) Remainder not public space	LAWNBOWLS (sole purpose usage)	CRICKET (sole purpose usage)	DAYCARE (sole purpose usage)	POTTERY (sole purpose usage)	PADEL (sole purpose usage)
NOTE	Overflow parking is behind indoor lawn bowls centre for large functions, and is managed with a parking attendant.					
PARKING REQUIREMENTS (Table 2)	FOOD & BEV <i>(club premises/small bar)</i> 1 bay per 10m2 of public floorspace.	PUBLIC BUILDING <i>(Rec Private)</i> 1 bay per 4 persons in attendance.	PUBLIC BUILDING <i>(Rec Private)</i> 1 bay per 4 persons in attendance.	CHILDCARE <i>(Child Care Premises)</i> 1 bay per staff member in attendance 1 bay per 7 children in attendance.	PUBLIC BUILDING <i>(Rec Private)</i> 1 bay per 4 persons in attendance.	PUBLIC BUILDING <i>(Rec Private)</i> 1 bay per 4 persons in attendance.
PARKING CALCULATIONS	68 Bays needed REFER TO DWG CP1 FOR CENTRE PUBLIC FLOOR SPACE AREAS	9-10 Bays needed 9-10 Rinks (4 PPL per Rink) 36-40 PPL / 4 = 9-10	3-4 Bays needed. 2 full lanes with bowler + batter. 4-PPL 3 lanes with bowling machines (batter only) 3-PPL 1.5 Parents / Coaches per lane 7-8-PPL 14-15 PPL / 4 = 3.75	COUNCIL INFO OF DA APPROVAL FOR PARKING REQUEST. GUESTIMATES 8 staff 72 children (website) 72 PPL / 7 = 10.3 + 8	2-3 Bays needed. 8-12 People 12 PPL / 4 = 3	11-12 Bays needed. 6 Doubles Courts. 24-PPL 3 Singles Courts 6-PPL 50% Calcs for PPL Waiting per OR leaving Court 15-PPL 45 PPL / 4 = 11.25
TOTAL	68	10	4	18	3	12
CAR PARKING REDUCTIONS (TABLE 3)	N/A	20% 15% (200m HF bustop) 5% (bicycle bays)	20% 15% (200m HF bustop) 5% (bicycle bays)	N/A	20% 15% (200m HF bustop) 5% (bicycle bays)	25% 15% (200m HF bustop) 10% (bicycle bays & end-journey facilities)
BICYCLE RATIOS (table 4)	8541m2 GFA/400 = 21-22 SPACES PROVED ON TWO ONSITE LOCATIONS					
DISABLED (1 BAY PER 50 PROVIDED)	151 / 50 = 3 BAYS REQUIRED 5 BAYS PROVIDED (existing & proposed)					
DELIVERY	1BAY	N/A	N/A	1BAY	N/A	N/A
MOTOR CYCLE	8541m2/1000 = 8-9 bays (NOT SHOWN - can work in)					
EV CHARGING	Non REQUIRED - CLIENTS HAPPY TO PROVIDE 1 off					
TOTAL	97 req + 18 (Daycare) + 2 Delivery = 115 Bays					



OVERFLOW/
STAFF PARKING

PADEL CENTRE
2744 m²

LAWN BOWLS (exist)
2167 m²

CRICKET (exist)
634 m²

POTTERY (exist)
173 m²

ADRIATIC STORAGE (exist)
70 m²

ADRIATIC CENTRE (exist)
1726 m²

ADRIATIC CENTRE (new:2-strorey)
242 m²

DAYCARE (exist)
785 m²

GFA (proposed)	
AREA NAME	Area
ADRIATIC CENTRE (exist)	1726 m²
ADRIATIC STORAGE (exist)	70 m²
ADRIATIC CENTRE (new:2-strorey)	242 m²
LAWN BOWLS (exist)	2167 m²
POTTERY (exist)	173 m²
DAYCARE (exist)	785 m²
CRICKET (exist)	634 m²
PADEL CENTRE	2744 m²
	8541 m²

PROJECT
INDOOR PADEL CENTRE

CLIENT
STIRLING ADRIATIC CENTRE

SITE ADDRESS
78 (lot 9000) JONES STREET, STIRLING WA 6021

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PARKING AREAS		
DATE:	30/07/26	DRAWING:
SCALE:	As A2 indicated	CP1
DRAWN:	WW	REVISION:
JOB No:	161	DA5