

Local Planning Policy – Character Retention in Mount Lawley and Menora Heritage Areas

1. CITATION

This is a Local Planning Policy prepared under Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* and Local Planning Scheme No. 4. This Policy may be cited as Local Planning Policy - Character Retention in Mount Lawley and Menora Heritage Area.

2. INTRODUCTION

The purpose of this Policy is to provide a framework to guide development in the Mount Lawley and Menora Heritage Areas to ensure the existing heritage character is retained and protected and is reflected in new development.

The Mount Lawley and Menora Heritage Area is delineated in Figure 1.

3. OBJECTIVES

The retention of traditional buildings, gardens and streetscapes in the Heritage area is important as these collectively contribute to the character of Mount Lawley and Menora. To retain this character existing traditional buildings should be retained and new buildings, including additions, should complement the existing streetscape and be designed in a similar style (including detailing), scale and proportions as existing traditional buildings.

The key objectives of this Policy are to: -

- a) Ensure the retention of buildings within the Mount Lawley and Menora Heritage Area built prior to 1960 where the architectural style of the building is generally intact;
- b) To ensure the retention of existing buildings referred to in (a) irrespective of whether the demolition of the building would have no adverse impact on the streetscape
- c) Ensure that new buildings, alterations and additions to existing buildings, carports, garages and front fences are in keeping with the heritage character of the area, respect the scale and proportions of surrounding buildings, and where located on a Character Street are designed to fit into the existing streetscape;
- d) Maintain and improve existing street trees, grass verges and front gardens; and
- e) Retain mature trees wherever possible.

4. APPLICATION OF THIS POLICY

This Policy applies to all Residential zoned land within the Mount Lawley and Menora Heritage Area, outlined in Figure 1 below.

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Where there is an inconsistency between the provisions of this Policy and other Policies the provisions of this Policy prevails. Development on Beaufort Street or within non-residential zones will be assessed against the relevant planning Policy.

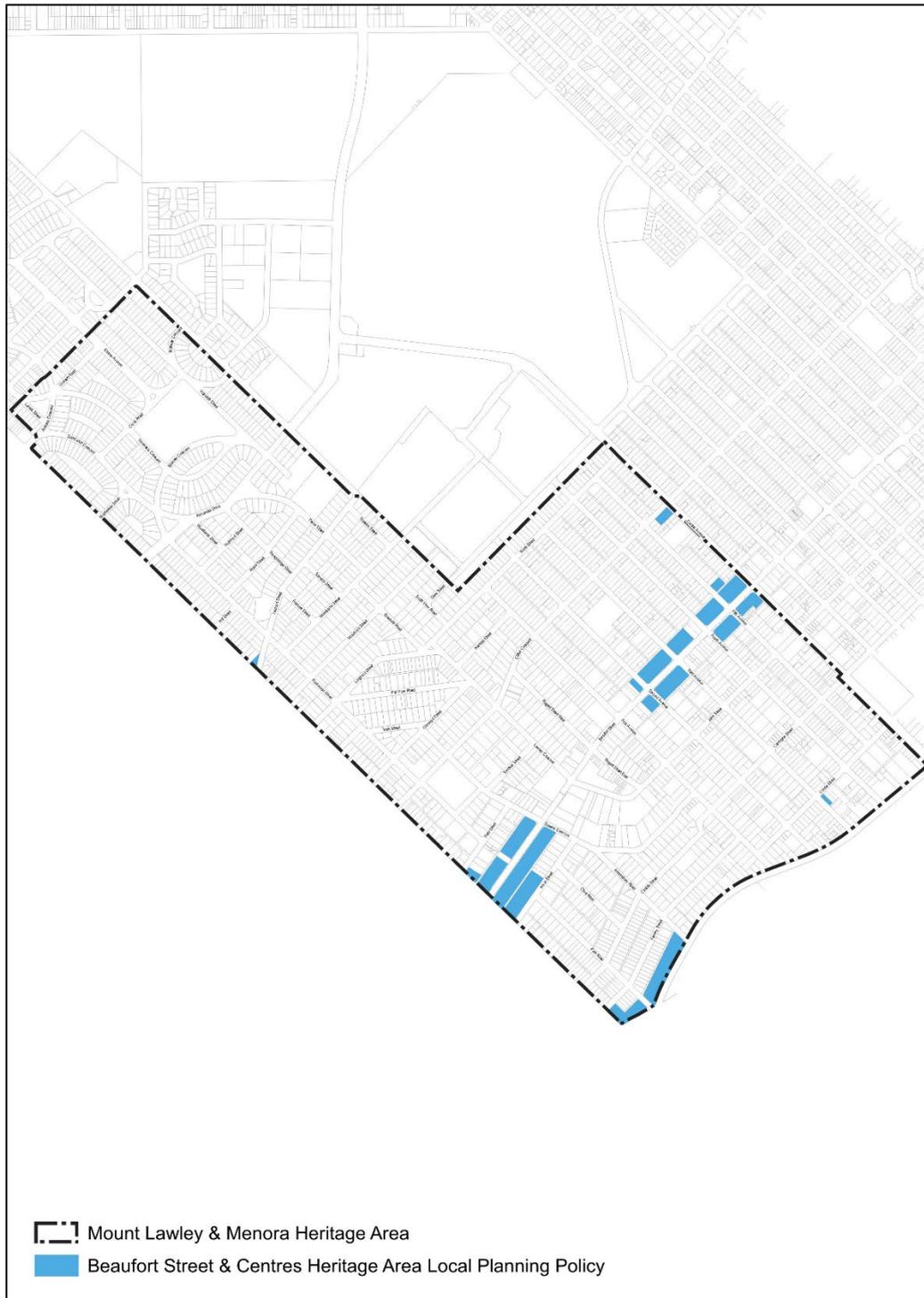


Figure 1 – Mount Lawley and Menora Heritage Area

Character Retention in Mount Lawley and Menora Heritage Area

5.2. History of Mount Lawley

The eastern part of Mount Lawley was subdivided and settled in several stages from 1896 when Gold Estates of Australia first offered for sale lots in the area from First to Third Avenues and from Guildford Road to John Street.

Mount Lawley was named after Sir Arthur Lawley, Governor of Western Australia from April 1901 to August 1902. It is believed that Lawley allowed his name to be used on condition that the area contained no public dwellings. The name was initially applied to Estate 1, subdivided in 1902 and extending from Walcott Street to Regent Street and from the river to Clifton Crescent.

The area was extended in 1912 with the subdivision of Estate 2 between Clifton Crescent and Alexander Drive. The release of the subdivision coincided with the government takeover of the tramway service in the area. The subdivisions were carried out by Samuel Copley, a real estate speculator, and Albany banker John Robinson. Many of the street names in Estate 2 include the suffix 'royd' which was the maiden name of the wife of Samuel Copley.

The road layouts of Estates 1 and 2 differed from the adjacent subdivisions where streets were laid in a regular grid. The layout of Estate 1 followed the contours of the land with the result that roads such as Clifton, Lawley, and Queens Crescents and Farnley and Clotilde Streets curved with the gradient of the land and added diversity to the general subdivision pattern.

5.3. Significance of Mount Lawley

Mount Lawley (Estates 1 and 2) is an area of exceptional significance.

Mount Lawley Estates 1 and 2 provide a rare example in Perth of a substantially intact residential area from the first decades of the twentieth century. The area is characterised by an innovative street layout based on the natural topography of the area, together with a traditional streetscape featuring verges, footpaths, and regular planting of street trees. There is a predominance of large homes from the early twentieth century and inter-war period, many of high architectural quality, in established landscaped gardens. A canopy of mature trees in back gardens gives an established quality to the area.

The area has aesthetic, historic, social and scientific significance for the following reasons:

- Road and subdivision pattern;
- Excellent examples of housing from the early 1900s including examples of Federation Bungalow, Queen Anne, Arts and Crafts and Californian Bungalow architectural styles;
- Street design including the general street layout including grass verges and street trees;
- Garden layout, design and quality.

Mount Lawley (East) is an area of considerable significance.

Mount Lawley (East) is a good example in Perth of a substantially intact residential area characterised by large and medium sized homes from the early twentieth century and inter-war period, many of high architectural quality, in established landscaped gardens.

The area has aesthetic, historic and social significance for the following reasons:

- Typical example of rectangular grid road and subdivision pattern;

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- Good examples of housing from the early 1900s and inter-war period including some very good examples of Federation Bungalow and Californian Bungalow style dwellings;
- Street design including the general street layout including grass verges and street trees;
- Garden layout, design and quality.

5.4. Mount Lawley Streetscapes

Mount Lawley is laid out on a rectangular grid with lots of approximately equal size in individual streets, but with some variation across the area. Traditional lot sizes vary throughout the area; however, the majority are between 650 and 750 square metres with street frontages between 13.0 and 15.0 metres. There are some smaller lots of approximately 500 square metres in area closer to the railway. There are laneways in some locations in Mount Lawley Estate No.1 and generally in Mount Lawley (East).

The area comprises predominantly single dwellings with one dwelling to each block. Dwellings are generally single storey, located towards the front of the lot and with the front door facing the street. Dwellings are set back an equal distance from the front boundary from 5 to 9 metres in individual streets. Dwellings have front gardens with exotic plantings that reflect the period of construction (refer Figure 3).

Most dwellings have low (0.9 to 1.2m) front fences in a range of styles including timber pickets, woven wire, and low masonry fences. Mature trees, particularly in back gardens, provide an attractive tree canopy throughout the area.

Streets have concrete pavements and grass verges on both sides and various exotic species of street trees planted at regular intervals. Generally, there is one single width crossover per lot.

There are some areas of public open space in the area. Generally, they comprise grassed area surrounded by mature trees. The main commercial area is located on Beaufort Street.

There are a number of areas where the character of the traditional streetscape has been altered by the amalgamation or subdivision of lots for unit development. These developments are considered 'intrusive' or 'neutral' places.

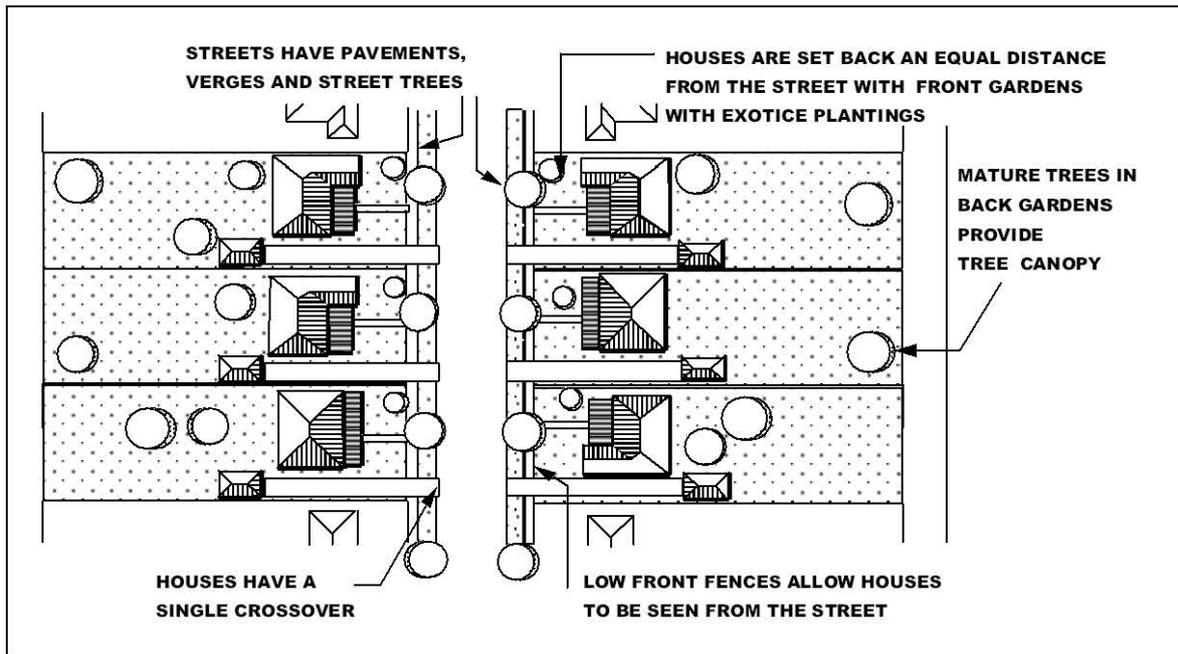


Figure 3 - Mount Lawley Streets

5.5. Traditional Mount Lawley Dwellings

Traditional dwellings in Mount Lawley were constructed predominantly between 1910 and 1950. Most dwellings are single storey and are generally constructed of red brickwork that in many instances is partly rendered. There are some weatherboard and iron dwellings remaining, including a group in Coode Street.

Dwellings are generally modest in scale and proportion and typical of middle-class housing of their era. However, wall heights are generally higher than contemporary standards with wall plates at around 3.5 metres above ground.

Styles are predominantly Federation Bungalows, Federation Queen Anne with some examples of Federation Arts & Crafts, Californian Bungalow, Mediterranean and Spanish Mission styles particularly in the more recently developed northwestern part of the area. The following is an outline of the main architectural styles found in Mount Lawley.

Federation Bungalow: c.1890-c.1915

The Federation Bungalow architectural style, which began to appear towards the end of the Federation era, is one of the most prevalent architectural styles in the Mount Lawley area. It has its origins in the single-storey vernacular dwellings, with commodious verandahs, that were found in colonial countries such as India and is considered to be a transition between the more decorative Federation Queen Anne style and the later, more assertive Inter-War Californian Bungalow style of residential architecture.

Stylistically, the Federation Bungalow (example in Figure 4) style was strongly influenced by the Arts and Crafts movement and the concepts of the 'simple life' found in the West Coast of the United States during the late nineteenth and early twentieth centuries. It was widely regarded as a style suited for the Australian 'bush architecture' due to its spacious verandahs and simple construction that provided for laid back lifestyles and easy accessibility to the outdoors.

Character Retention in Mount Lawley and Menora Heritage Area

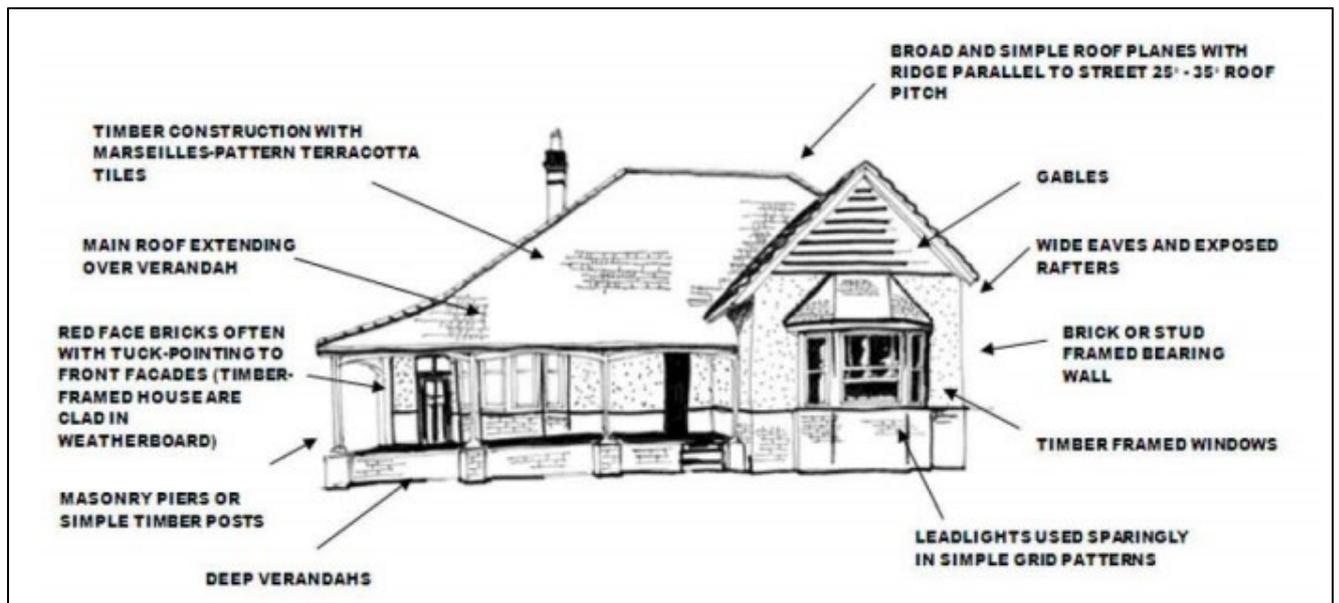


Figure 4 - Example of Federation Bungalow

Federation Queen Anne: c.1890-c.1915

Federation Queen Anne was the dominant Australian domestic style during the late nineteenth and early twentieth centuries. This style also appeared in rows of shops in the new suburbs being established during this time. Found throughout the Mount Lawley area, it was a style influenced by a combination of traditional English architecture and the more extravagant American Queen Anne. Increasingly, decorative elements (both internally and externally) influenced by Art Nouveau, began to emerge after the turn of the century and became additional identifying features of the style.

Federation Queen Anne residences are often set in attractive gardens, with a variety of exotic plants and are picturesque and asymmetrical in appearance. Usually, one room projects forward of the front façade and the verandah then extends across the remaining frontage. An example is shown below in Figure 5.



Figure 5 - Example of Federation Queen Anne

Federation Arts and Crafts: c.1890-c.1915

The Arts and Crafts movement emerged in the nineteenth century in England, where proponents such as William Morris looked towards recapturing the handicraft methods used in a rural pre-industrial age. In the United States, Gustav Stickley promoted the 'Craftsman' image in architecture, interior design, and furniture.

The Arts and Crafts movement was concerned with the integration of art into everyday life and the 'truthful use of materials and the honest expression of function', which resulted in informal, domestic scaled buildings with a comfortable familiarity.

In Australia, the Federation Arts and Crafts style of architecture drew from these overseas models and the residences built in this style display characteristics that are unassuming and homely. Figure 6 below is an example of this.



Figure 6 – Example of Federation Arts & Crafts

Inter-War California Bungalow - c.1915-c.1940

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California Bungalows (example below in Figure 7) became popular in the United States in the early twentieth century. Built with natural materials, they were low-profile homes designed for relaxed living, particularly suited to California’s mild climate.

Australian architects were designing individual interpretations of the Californian Bungalow during the early years of the twentieth century and by the early 1920s many builders had embraced the style. In Australia, the Inter-war California Bungalow was generally built-in brick with chunky carpentry details, rather than the fully timber construction that characterised the style in the United States. Residences built in this style are usually free-standing, single storey set on single blocks with informal lawns and gardens, often using natural materials and finishes.

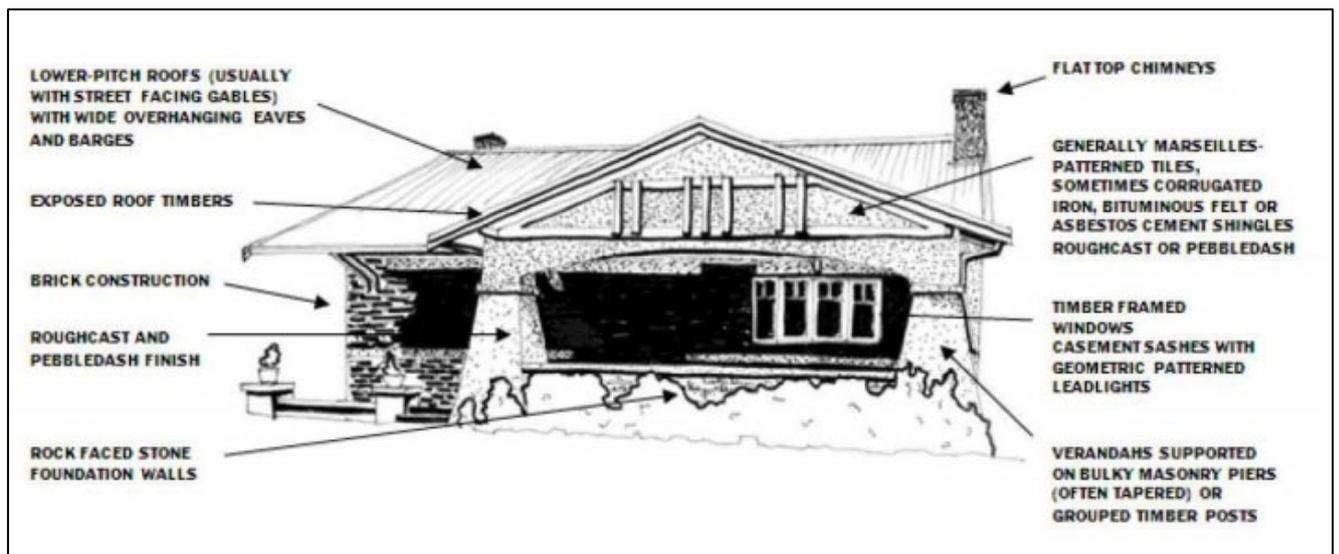


Figure 7 – Example of Inter-War California Bungalow

5.6. Description of the Area – Menora

The Menora Heritage Area is bounded by the rear boundaries of lots on the southeastern side of Adair Parade, Bradford Street, Tweed Crescent, Alexander Drive and Walcott Street as shown in Figure 8.

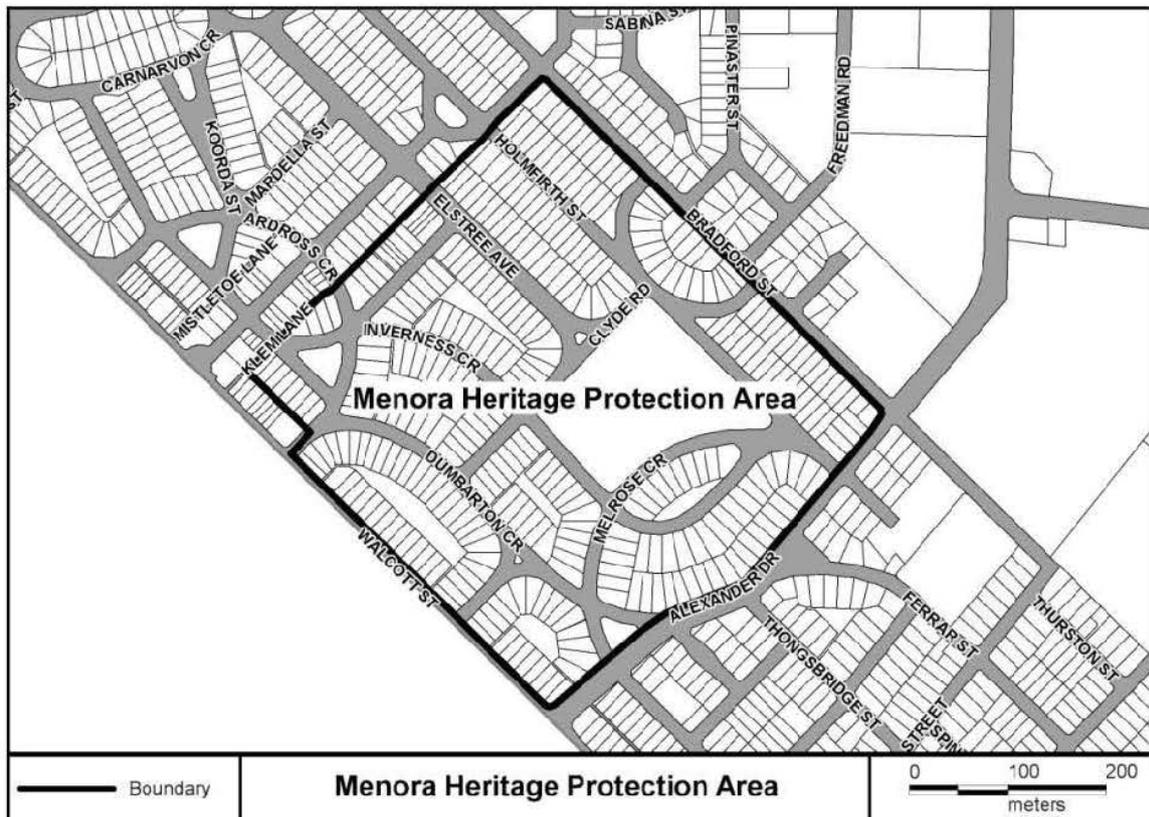


Figure 8 - Menora Heritage Protection Area

5.7. History of Menora

Menora was subdivided and settled in the inter and immediate post war periods. Prior to that time the area was characterised by general agricultural uses and smallholdings. The planning of Menora, and the adjacent area of Coolbinia, on Garden Suburb principles was related directly to the influence of W.E. Bold, the Town Clerk of the City of Perth who actively promoted both the Garden City Movement and the Town Planning Movement generally in Perth both before and after World War I.

The planning of the area was influenced by developments in the field of town planning that occurred predominantly in the 1920s in Perth. During this period there was considerable interest in the Town Planning Movement, which culminated in 1928 with the enactment of the Town Planning Act of 1928. The first town planning scheme for Mount Lawley was published in 1937 and included provisions such as the restriction of the construction of flats to parts of Walcott Street and Adair Parade. Although subdivided earlier, settlement in this area continued into the 1950s and 60s with some more recent development occurring. Menora was officially named in the 1950s, after the Jewish nine-branched candlestick.

5.8. Significance of Menora

Menora is an area of exceptional significance.

Menora is a very significant, substantially intact residential area planned on Garden Suburb planning principles. It is characterised by landscaped parks and streets with open grassed verges and mature trees. The curved road layout provides attractive vistas to parks and streets. The area is characterised by large homes from the 1930s, 1940s and 1950s, many of high architectural quality,

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set in attractive established gardens which are generally landscaped to compliment the design of the dwelling. There are a number of fine examples of a range of architectural styles including Inter-War Californian Bungalow and Functionalist and dwellings with elements of Spanish Mission styles.

The area has aesthetic, historic and social significance for the following reasons:

- Distinctive road and subdivision pattern;
- Excellent examples of housing generally from the 1930s, 1940s and 1950s including examples of Interwar Californian Bungalow, Functionalist, Spanish Mission and Mediterranean styles;
- Street design including general street layout, landscaped public open spaces, wide verges, and street trees;
- Garden layout, design, and quality;
- Good example of the implementation of Garden Suburb planning principles in Perth; and
- Historic associations with the Jewish community in Perth.

5.9. Menora Streetscapes

The road pattern in Menora varies markedly from the pattern of the adjacent Mount Lawley area, which is based on a rectangular grid. The road pattern of Menora is based on Garden Suburb town planning principles and comprises a series of crescents incorporating a series of small parks. The basis of these principles is that the suburb is designed as a whole community with a focus around a shopping or community centre and where residential lots are designed with access to areas of public open space. Street blocks are subdivided into a series of residential lots with approximately equal street frontages. Residential lots are around 840 to 1000 square metres in area with some variation and irregularity in block size as a result of the circular street pattern. The area contains some internal park areas at the backs of dwellings which is characteristic of Garden Suburb planning and rare, but not unique, in the context of metropolitan Perth. The subdivision pattern remains substantially as originally planned with no amalgamation or subdivision of original lots as shown in Figure 9.

The area comprises mainly single and double storey residences with the traditional pattern of one dwelling to each lot. Dwellings are set back an equal distance from the street however setbacks vary throughout the area and are quite large in some cases. Generally, the area is characterised by low masonry fences or an absence of front fences and the front garden extending to the pavement or into the street verge with no pavements in a few cases. Public and private landscape areas are integral to the character of the area. Front gardens are generally informal in design with a predominance of exotic plantings and lawn. Street trees are planted at regular intervals throughout the area. Dwellings were generally constructed with a single crossover and provision for parking one car. Over time larger double carports and garages have been introduced. Generally, these can be accommodated without appearing intrusive as the lot frontages are wide.

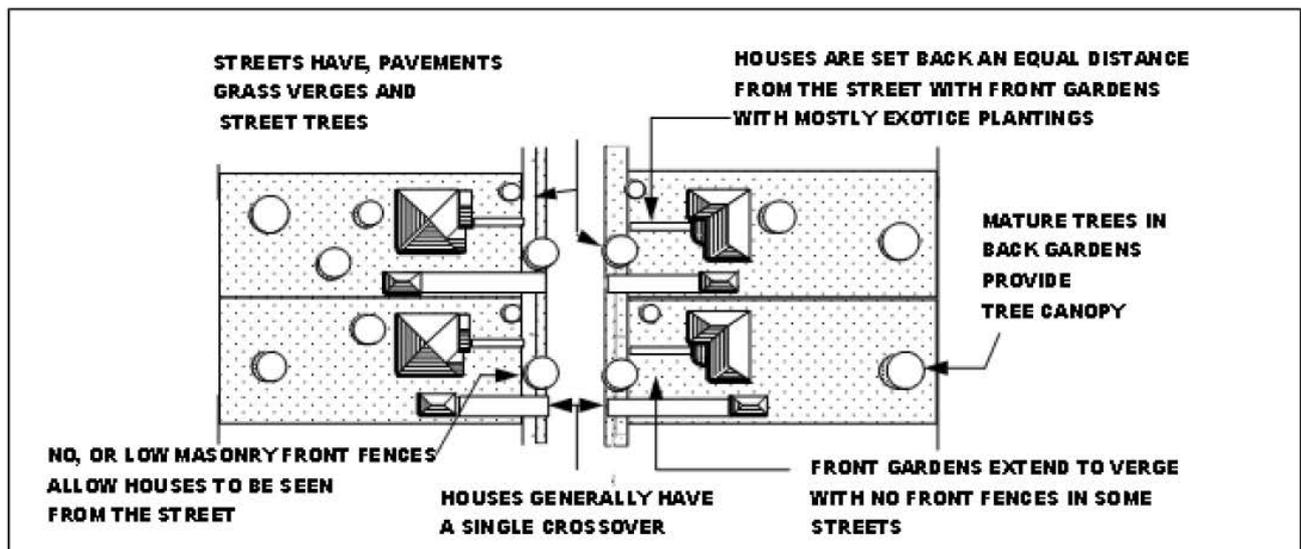


Figure 9 - Layout of Menora Streets

5.10. Traditional Menora Dwellings

Dwellings in Menora were constructed predominantly in the period 1930s, 1940s and 1950s. Generally, dwellings are single storey, although there are some larger two-storey homes throughout the area, and architectural styles reflect the period of construction. Examples of housing styles include Inter-War Spanish Mission, Functionalist and Californian Bungalow. There are a number of fine residences in the Inter-War Functionalist style which are rare in the context of metropolitan Perth.

Inter-War California Bungalow - c.1915-c.1940

The bungalow became popular in the United States at the beginning of the twentieth century. Expressed in 'earthy' materials, these homes were low-slung and planned for a casual lifestyle, especially in the temperate climate of California.

Australian architects were designing individual interpretations of the Californian Bungalow, during the early years of the twentieth century and by the early 1920s many builders had embraced the style.

In Australia, the Inter-war California Bungalow was generally built in brick with chunky carpentry details, rather than the fully timber construction that characterised the style in the United States. Residences built in this style are usually free-standing, single storey set on suburban blocks with informal lawns and gardens, often using natural materials and finishes. Figure 7 provides an example of an Inter-War California Bungalow.

Inter-War Spanish Mission - c.1915-c.1940

The Inter-War Spanish Mission was introduced to Australia in the 1920s and draws on architectural styles influenced by Spanish colonial architects in both California and Florida.

The style is reminiscent of the Spanish Romanesque and Baroque styles. Residences built in this style are usually asymmetrical in appearance and feature external walls with light coloured, stucco or rendered surfaces with finishes that mimic textured handcrafted surfaces typical of the adobe construction of the Spanish missions. They are usually free standing and set in landscaped settings with exotic flora that has extensive use of palms (refer Figure 10).

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Figure 10 – Example of Inter-War Spanish Mission

Inter-War Functionalist - c.1915-c.1940

The Inter-War Functionalist style was a popular European style during the 1920s and 1930s that completely separated itself from styles of the past and instead focused on the ideas of “functionalism” and “clean lines”. It was popularised through the influences of the modern movement and has been applied in Australia to a range of buildings such as homes, commercial buildings and cinemas.

The style is typically characterised by simple, geometric shapes, light colours, large glass areas with openings often occurring in horizontal bands giving a building a “streamline effect”. An example is shown in Figure 11.



Figure 11 – Example of Inter-War Functionalist

Austerity Cottage - Late 1940s and 1950s

In the immediate Post-World War II period, new construction was impeded by financial limitations, material shortages and building restrictions, which governed the size and also the style of housing. Materials such as timber, bricks, tiles and glass remained in short supply for a number of years.

The lack of materials and rising costs, coupled with a need to provide housing resulted in a reduction in ornamentation, resulted in a reduction in ornamentation, the simplification of elements such as chimneys and the reductions of verandahs to small porches.

Many of the dwellings in the Menora area that were constructed after the Second World War continued to exhibit characteristics of the inter war styles prevalent in the area, albeit in a more simplified form.

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The 'Post War Austerity' was defined as one common architectural form of the time. In the eastern states of Australia this was a basic fibro clad bungalow with a touch of streamlined modernism. In Western Australia the same style was constructed in brick and is found in the areas of Menora that were first developed in the late 1940s and during the 1950s.

Residences built in this style are usually free-standing, single storey set on suburban blocks, generally with no front fence, but occasionally with a very low one, and a front lawn with few plantings (refer Figure 12).

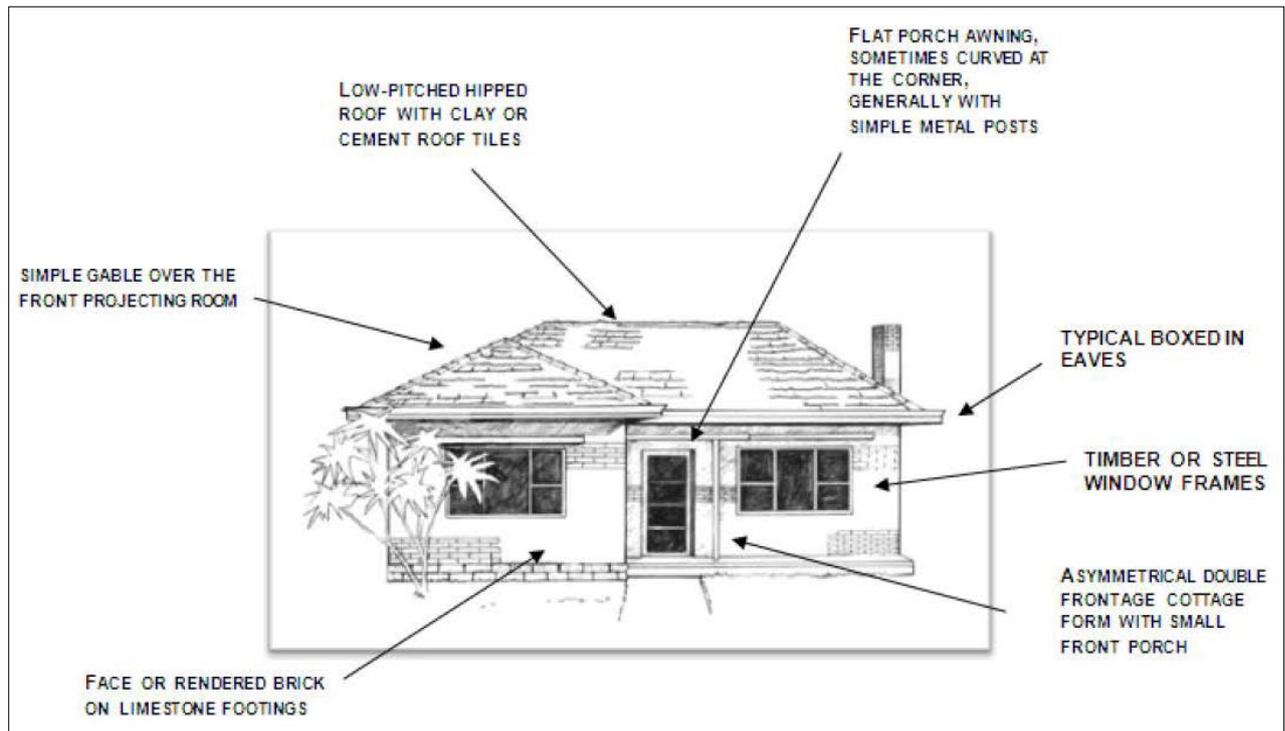


Figure 12 – Example of an Austerity Cottage

6. DEMOLITION OF BUILDINGS

6.1 Complete Demolition of a Building

A key objective of this Policy is to retain and conserve traditional buildings within the Heritage Areas, particularly those buildings built before 1960.

Where it is proposed or necessary to demolish (other than partially – refer below) a traditional building located in Residential Zone built before 1960, development approval for the works shall not be granted until separate development approval has first been granted for the demolition of the building.

The development application should include a written justification demonstrating that demolition is consistent the objectives of this Policy and should include demonstrate:

- Provide evidence that the building was constructed from 1960 onward;
- Detail why the building is no longer an intact example of its architectural style (not including additions), addressing its form, scale, materials and detailing;

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- Detail (with evidence from a qualified structural engineer or equivalent) why the building is structurally unsafe and irredeemable, and the conservation of the building is not viable (property owners are responsible for the maintenance of their asset and allowing a property to fall into disrepair will not facilitate an approval for demolition). Only where the building has been identified as an 'intrusive' or 'neutral' place (buildings of more recent design), consideration can be given to varying this requirement.

To assist in considering the merits of any proposed demolition in a Heritage Area, the City may require a heritage assessment by a heritage/architectural professional to be carried out. This assessment will assist the City in determining if an application and the written justification provided by the applicant is accurate and in accordance with the objectives of these guidelines.

6.2 Partial Demolition of a Building

Partial demolition of a building in a Residential zone within the Heritage Area will be considered as part of the assessment of a development application for additions or alterations to the building. Partial demolition will be assessed in the context of the following objectives:

- To conserve and retain buildings within the Heritage Area built before 1960 where the architectural style of the building is generally intact.
- To retain the traditional dwelling with minimum alterations.

This framework prevents the demolition of all but a portion of an existing building. Demolition proposals should be confined to those portions of the building behind the ridge line of the roof at the rear of the building.

Existing traditional elements of the building are to be retained, and the proposal must meet the objectives of Part 7 'Residential Policy Provisions' of this Policy.

Demolition of large portions of a traditional building facing a character street, or removal of original features from the front façade to facilitate a new addition are unlikely to be supported.

Where partial demolition is proposed, drawings must show the extent of the roof and wall fabric being retained. A practising structural engineer's plan, specification and detail will be required when a Building Permit for the works is submitted to demonstrate how the structural integrity of the existing building is to be maintained during building and demolition works.

The details are to include and not limited to:

- a) Methodology statement of work sequence;
- b) Details of proposed connection to the new work;
- c) Detail of any support of existing floor, walls and roof structures required;
- d) Details of any foundation support required.

7. RESIDENTIAL POLICY PROVISIONS

7.1 Conservation of and Additions to Traditional Dwellings

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Objectives

- Retain the traditional dwelling with minimum alterations;
- Conservation works should retain and enhance the original character of the dwelling; and
- Additions to traditional dwellings must reflect the heritage character of the area and the style of the traditional dwelling.
- Ensure that design of new buildings respects the style, and character of the surrounding Locality and contribute to the character of the streetscape;
- Ensure the scale and form of new buildings respects that of surrounding traditional dwellings and the street pattern;
- Ensure existing levels on site are retained as far as practical to maintain the existing natural progression of the land

7.2.1 Streetscape

Streetscape

- a) No additions and / or alterations to the traditional dwelling shall occur within the front setback area, unless restoring an original feature in the original architectural style (e.g.; a verandah);
- b) Any additions to the side shall be setback a minimum of 2 metres from the predominant building line (as determined by the City) of the front of the traditional dwelling (Refer Figure 13); and
- c) Second storey additions shall be located to the rear of the traditional dwelling ridgeline (refer Figure 14 and 15).

Levels

- a) The natural ground level of the site shall be retained.

Fences and Gardens

Please refer to section 7.5 Fences and Gardens of these guidelines.

Carports and Garages

Please refer to section 7.4 Carports and Garages of these guidelines.

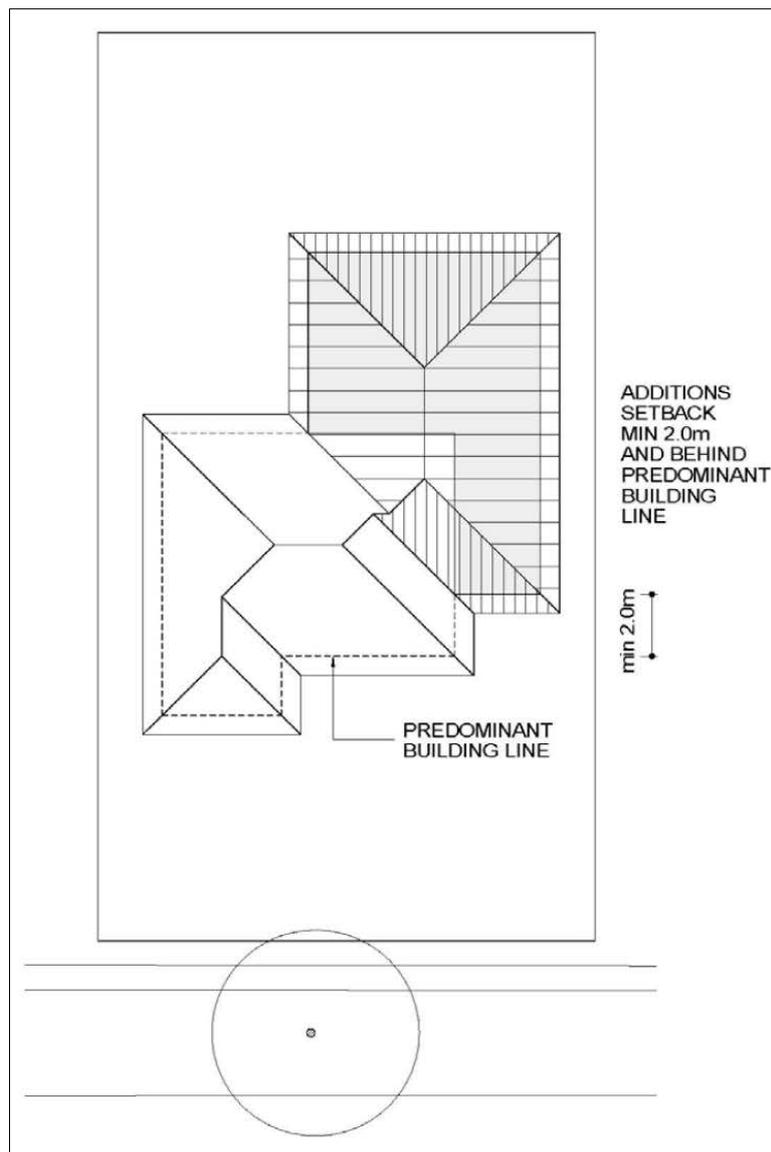


Figure 13 – Additions to Traditional Dwelling

7.2.2 Built Form and Design

Design

- a) Additions shall reflect the architectural style, form, colour and materials of the traditional dwelling.
- b) Additions not visible from the street need not so strictly adhere to the original architectural style of the traditional dwelling, but shall be in keeping with, and respectful to, the form, scale, bulk and materials of the traditional dwelling and surrounding development.
- c) In regard to two storey additions, the visual bulk of the building should be minimised through articulation of larger wall lengths, and the stepping back of upper storey walls (refer Figure 20).

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- d) Where a wall is permitted to be located on the boundary, that wall shall be constructed as a traditional parapet wall (refer Figure 14).

Building Height

- a) The wall heights of single-storey additions shall match the traditional dwelling, including for corner lots; and
- b) The ridge and wall heights of second-storey additions and new buildings are to be in accordance with the applicable Residential Design Codes. Consideration may be given to nominal height increases, but only where such increases facilitate traditional ceiling/plate heights.

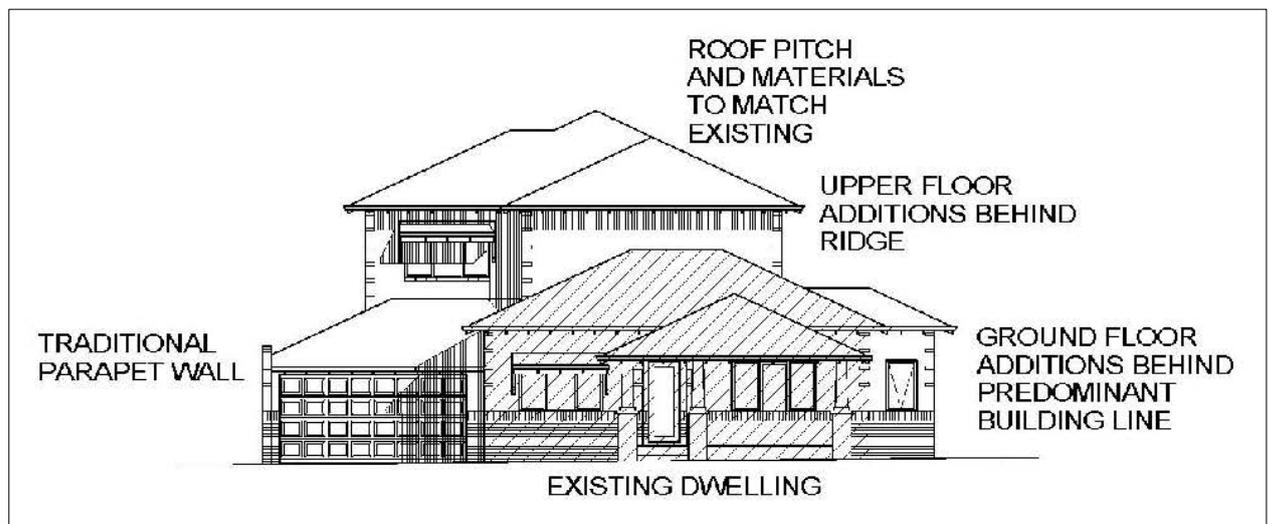


Figure 14 - Second Storey Addition to a Traditional Dwelling

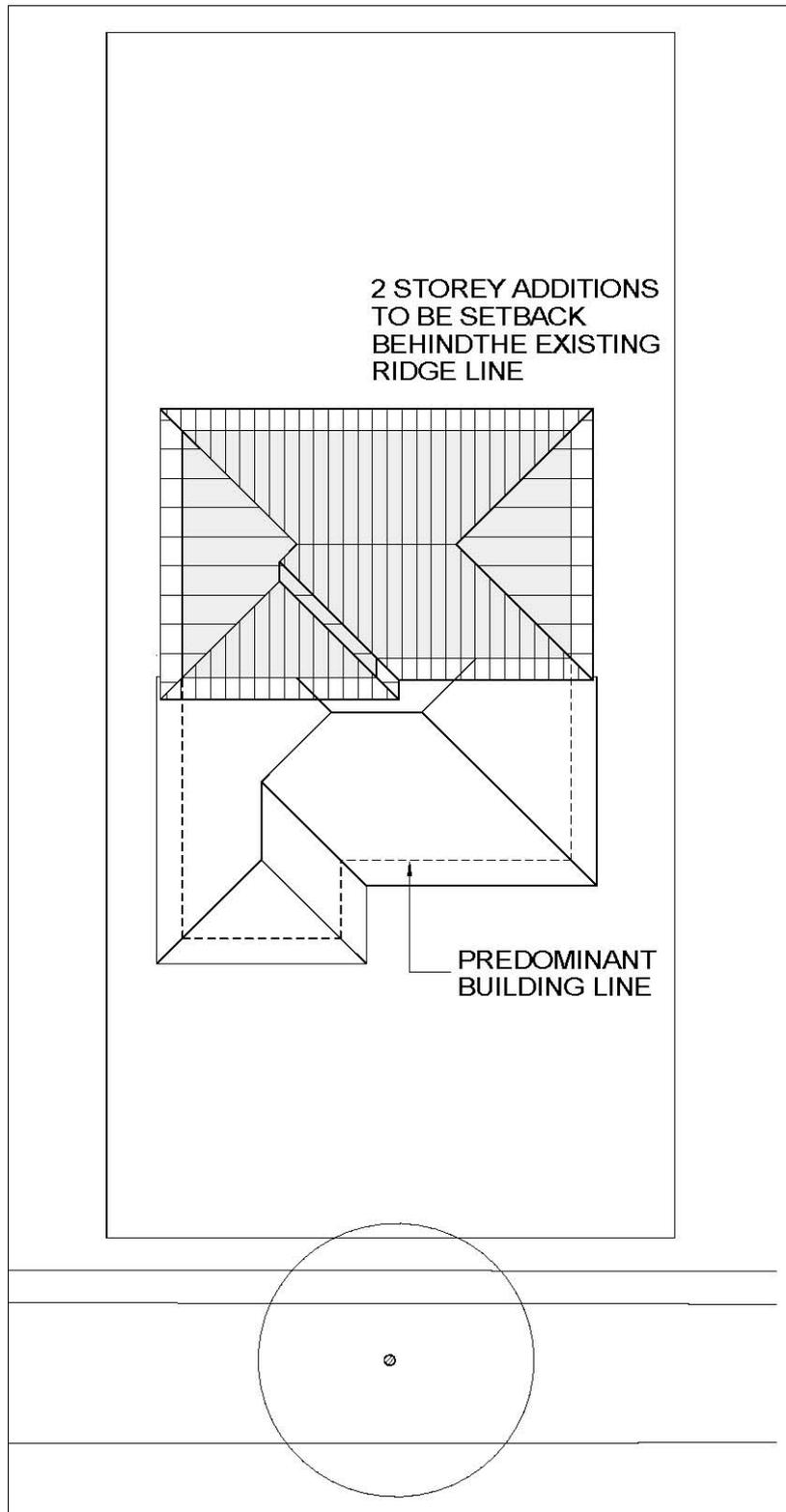


Figure 15 - Plan Showing Second Storey Addition to Traditional Dwelling

Roof Pitch

- a) New roofing shall be as per the original roof pitch of the traditional dwelling (refer Figure 16);
- b) A skillion roof is not permitted.

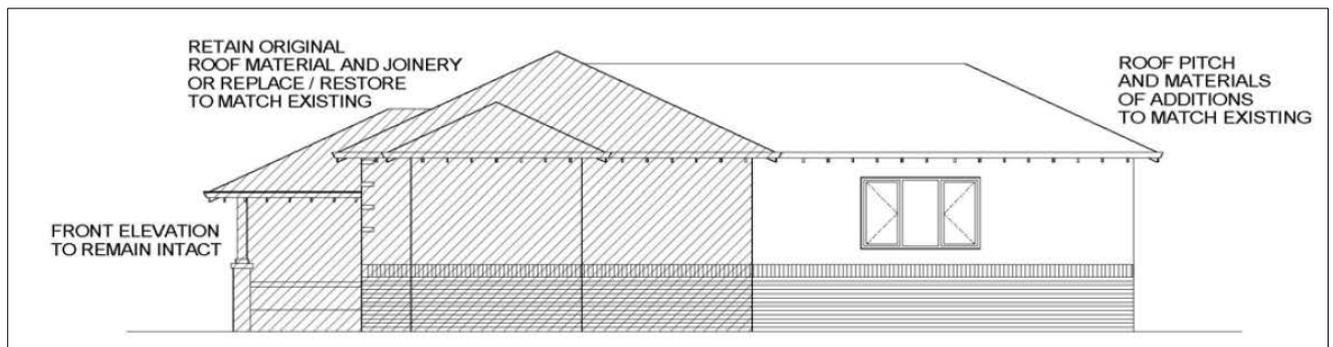


Figure 16 - Roof Pitch

Eaves

- a) Eaves shall overhang by a minimum of 300mm;
- b) The eaves line of the addition shall not be lower than the eaves line of the traditional dwelling where visible from the street, including for corner lots; and
- c) Eaves shall not be boxed and shall have exposed rafters except where boxed eaves are a feature of the architectural style of the traditional dwelling – for example ‘Austerity Cottage’.

Verandahs

- a) Where a verandah is being re-instated, the verandah form, scale and features (e.g. posts) should be consistent with the architectural style of the traditional dwelling, refer to Part 5 - Residential Character Analysis of these Guidelines.

Openings

- a) Windows shall have a vertical emphasis. That is, the height of the window should be visibly greater than its width (refer Figure 17);
- b) Window frames are to be constructed in timber (preferred) or wide-profile aluminum, PVC (where not located on the City’s Heritage List) or steel where visible from the street;
- c) Windows to the front facades of a second storey addition shall reflect the configuration and grouping of the traditional dwelling windows facing the street;
- d) Window frames in non-masonry walls shall be recessed;
- e) Window frames shall be constructed in timber (preferred) or wide-profile aluminium or steel;

- f) Window frame colours shall be white or cream. Other colours may be considered acceptable where evidence is provided demonstrating the proposed colour scheme is reflective of the traditional dwelling's existing or the original colour palette (i.e. Paint scrapes);
- g) Roller shutters are not permitted where visible from the street; and
- h) Skylights or similar are not permitted where cutting into the original fabric of the traditional roof or visible from the street.

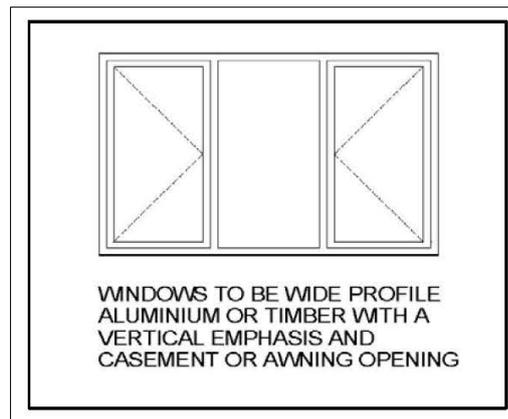


Figure 17 - Window Design

Materials & Details

- a) The original materials of the traditional dwelling shall be conserved as far as practically possible;
- b) Where original materials have previously been removed, restoration to original is required;
- c) Restoration of the traditional dwelling shall be based on original drawings and photographs where possible;
- d) Where replacement of materials such as the roof and joinery is necessary, they shall be replaced with materials to match the existing;
- e) New walls and roofing shall match the colours and materials of the traditional dwelling. Recycled or handmade bricks are preferred. Bricks facing the street are to be one course (unless rendered); and
- f) Brick or rendered brick verandah posts and balustrading may be appropriate in some instances where it meets the objectives of these guidelines.

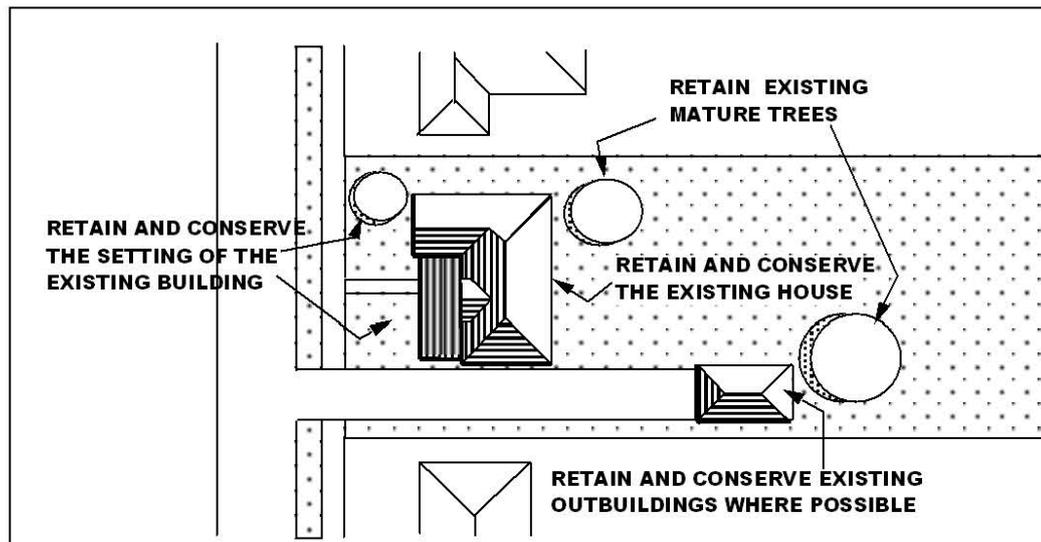


Figure 18 - Streetscape

7.2 New Single Dwellings

These provisions apply to new single dwellings and associated structures such as carports and garages.

Objectives

- Ensure that new buildings reflect the traditional style, scale and form of traditional dwellings and the street pattern, in terms of design, setbacks and orientation;
- Retain the appearance of a single storey built form from the street; and
- Retain natural levels of the site.

7.2.1 Streetscape

Street Setbacks

- a) The ground floor of new buildings shall follow the established street setback, for both primary and secondary streets irrespective of the relevant R Code street setback (refer Figure 19);
- b) Where the street pattern varies, the ground floor of new buildings shall be setback from the street mid-way between that of the traditional dwellings on either side;
- c) Second storeys shall be setback a minimum of 4 metres from the face of the predominant building line (as determined by the City) wall immediately below; and
- d) A reduction in the front setback to enable a garage or carport to be located to the side or rear of the property may be considered, but only where this will preserve the streetscape value of the area and where the required setback is reduced by a maximum of 1 metre.

Orientation

Character Retention in Mount Lawley and Menora Heritage Area

- a) New buildings and entry doors shall face the street. Entry doors located at the side of the dwelling may be considered, but only where this is consistent with the character of the street, and the entry doors are still visible from the street and accessed via a porch or verandah.

Levels

- a) The natural ground level of the site shall be retained; and
- b) Any required retaining shall comprise brick-up or similar retaining under the building. Fences & Gardens Please refer to section 4.5 Fences & Gardens of these guidelines

Fences & Gardens

Please refer to section 4.5 Fences & Gardens of these guidelines.

Carports & Garages

Please refer to section 4.4 Carports & Garages of these guidelines.

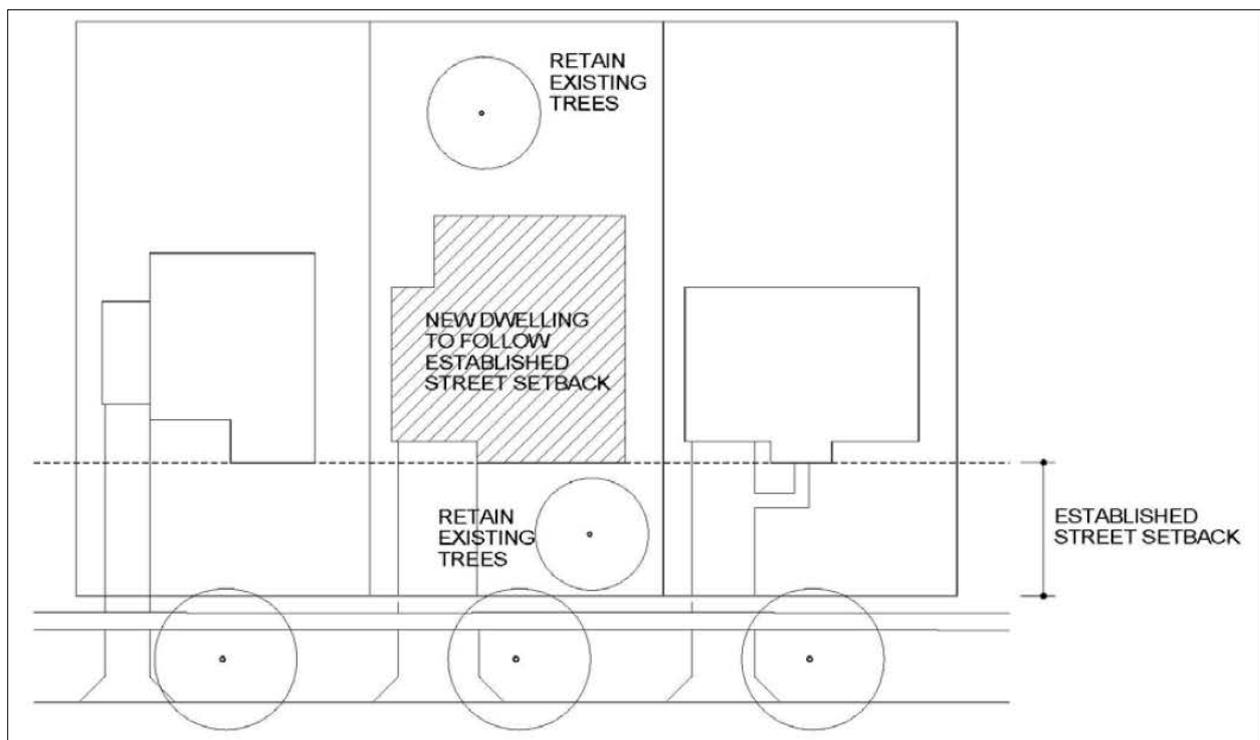


Figure 19 – Setback for new dwellings

7.2.2 Built Form and Design

Design

Character Retention in Mount Lawley and Menora Heritage Area

- a) New buildings shall be traditional in design and reflect the heritage style and scale of traditional dwellings within the streetscape. Refer Part 5 – Residential Character Analysis of these guidelines.
- b) In regard to two storey buildings, the visual bulk of the building should be minimised through articulation of larger wall lengths, and the stepping back of upper storey walls (Refer Figure 20).
- c) Where a wall is permitted to be located on the boundary, that wall shall be constructed as a traditional parapet wall (Refer Figure 14).

Building Height

- a) The building height of new dwellings shall be in accordance with the Residential Design Codes. Consideration may be given to nominal height increases, but only where such increases facilitate traditional ceiling heights;
- b) New buildings shall respect the scale and proportions of traditional dwellings within the streetscape; and
- c) Ground floor wall plate heights shall be a minimum of 3 metres (measured from natural ground level to plate height), including for corner lots.

Roof Pitch

- a) Roof pitches shall be a minimum of 25 degrees, to a maximum of 35 degrees;
- b) Verandahs may have a lower pitch where this reflects the existing style in the streetscape;
- c) Roofs may be hipped or gabled. Gables shall have traditional timber detailing (e.g. battens) and treatment;
- d) Barrel vault, curvilinear and low skillion roofs shall not be permitted; and
- e) Dormer windows are not permitted.

Eaves

- a) Eaves shall overhang by a minimum of 300mm; and
- b) Eaves shall not be boxed and shall have exposed rafters except where boxed eaves are a feature of the architectural style in the streetscape.

Verandahs

- a) Verandahs fronting the street shall be a minimum of one-third the width of front elevation; and
- b) Verandahs shall have a minimum depth of 2 metres.

Character Retention in Mount Lawley and Menora Heritage Area

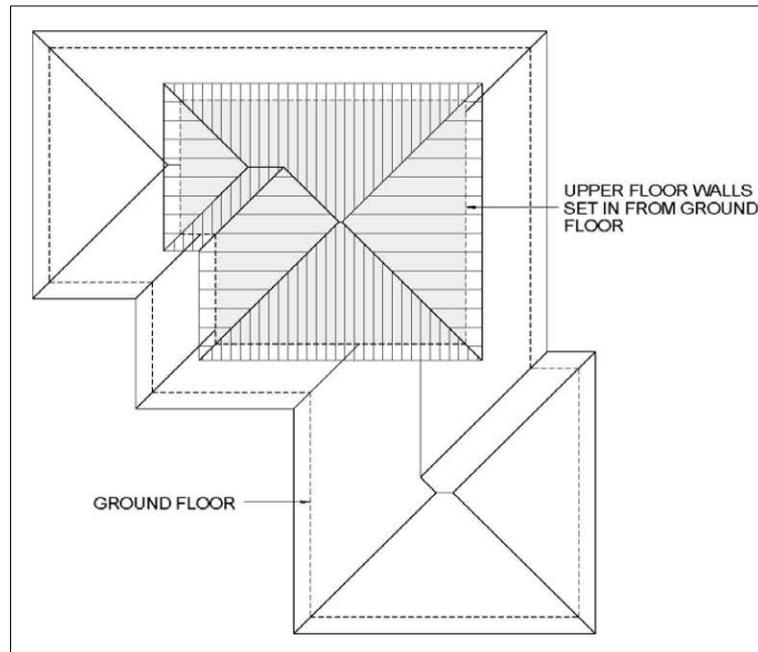


Figure 20 - Upper Storey setbacks

Openings

- a) Windows shall have a vertical emphasis. That is, the height of the windowpane should be visibly greater than its width;
- b) Window frames are to be constructed in timber (preferred) or wide-profile aluminum, PVC (where not located on the City's Heritage List) or steel where visible from the street;
- c) Window frames shall be constructed in timber (preferred) or wide-profile aluminium or steel;
- d) Window frame colours shall be white or cream (refer Figure 17);
- e) Window frames in non-masonry walls shall be recessed;
- f) Roller shutters are not permitted where visible from the street; and
- g) Dormer windows are not permitted.

Materials & Details

- a) Traditional materials of face brick and / or render shall be used for the solid wall surface of the façade. The proportions and detailing of these should reflect the traditional dwellings in the streetscape (refer Part 5 – Residential Character Analysis of these guidelines);
- b) Bricks shall be in the red colour range. Recycled or handmade bricks are preferred. Mortar shall be in traditional colours;
- c) Render shall be in a traditional finish and colour, and consistent with the traditional dwellings in the streetscape;

Character Retention in Mount Lawley and Menora Heritage Area

- d) Where limestone is used, it shall be located at the base of the building as a consistent single band, and shall not exceed more than 20% of the solid wall surface of the façade (NB; limestone in this instance refers to the use of stone or limestone cladding – limestone coloured bricks are not permitted);
- e) Roofs shall be constructed with tiles in red or terracotta hues. Corrugated iron or pre-finished roof sheeting in red, orange, terracotta, or zincalume may be considered only where it is in keeping with the architectural style of the dwelling, surrounding roofing materials, and the objectives of these guidelines; and
- f) Balustrades, verandah posts and the like, shall be constructed in timber or painted metal. Brick or rendered brick verandah posts and balustrading may be appropriate in some instances where it meets the objectives of these guidelines.

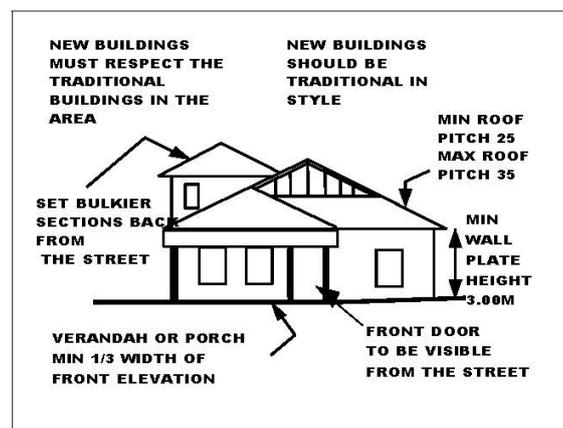


Figure 21 – New Single Dwellings

7.3 Infill Development

These provisions apply to developments involving grouped and / or multiple dwellings, and dwellings constructed to the rear of a traditional dwelling which are not explicitly covered by the Beaufort Street and Centres Heritage Area Policy.

Objectives

- Ensure the retention of the traditional dwelling when more than one dwelling is permitted on the site; and
- Ensure infill development reflects the style, scale and form of traditional dwellings within the streetscape.

7.3.1 Streetscape

- a) Where a traditional dwelling is to be retained, the provisions of section 7.1 “Conservation of and Additions to Traditional Dwellings” of these guidelines shall apply to any works proposed to the traditional dwelling;
- b) Where new dwellings are proposed, the provisions of section 7.2 “New Single Dwelling” of these guidelines shall apply; and
- c) In addition, the principles as detailed in the text and diagrams below shall apply.

Character Retention in Mount Lawley and Menora Heritage Area

Orientation

- a) A maximum of one dwelling shall directly front the original lot frontage. That is, new dwellings shall be located one behind another, rather than side by side (refer Figure 22).
- b) The City does not support the subdivision of a vacant lot that results in two lot frontages facing the same Character Street.
- c) Where a Right of Way abuts a vacant site, dwellings should orientate towards the Right of Way.

7.3.2 Built Form and Design

- a) Where a traditional dwelling is to be retained, the provisions of section 7.1 “Conservation of and Additions to Traditional Dwellings” of these guidelines shall apply to any works proposed to the traditional dwelling;
- b) Where new dwellings are proposed, the provisions of section 7.2 “New Single Dwelling” of these guidelines shall apply; and
- c) In addition, the principles as detailed in the text and diagrams below shall apply.

Design

- a) New dwellings shall be traditional in design and reflect the heritage style, form and scale of the traditional dwelling, and other traditional dwellings within the streetscape.
- b) In regard to two storey buildings, the visual bulk of the building should be minimised through articulation of larger wall lengths, and the stepping back of upper storey walls (Refer Figure 20).
- c) Where a wall is permitted to be located on the boundary, that wall shall be constructed as a traditional parapet wall (refer Figure 14).

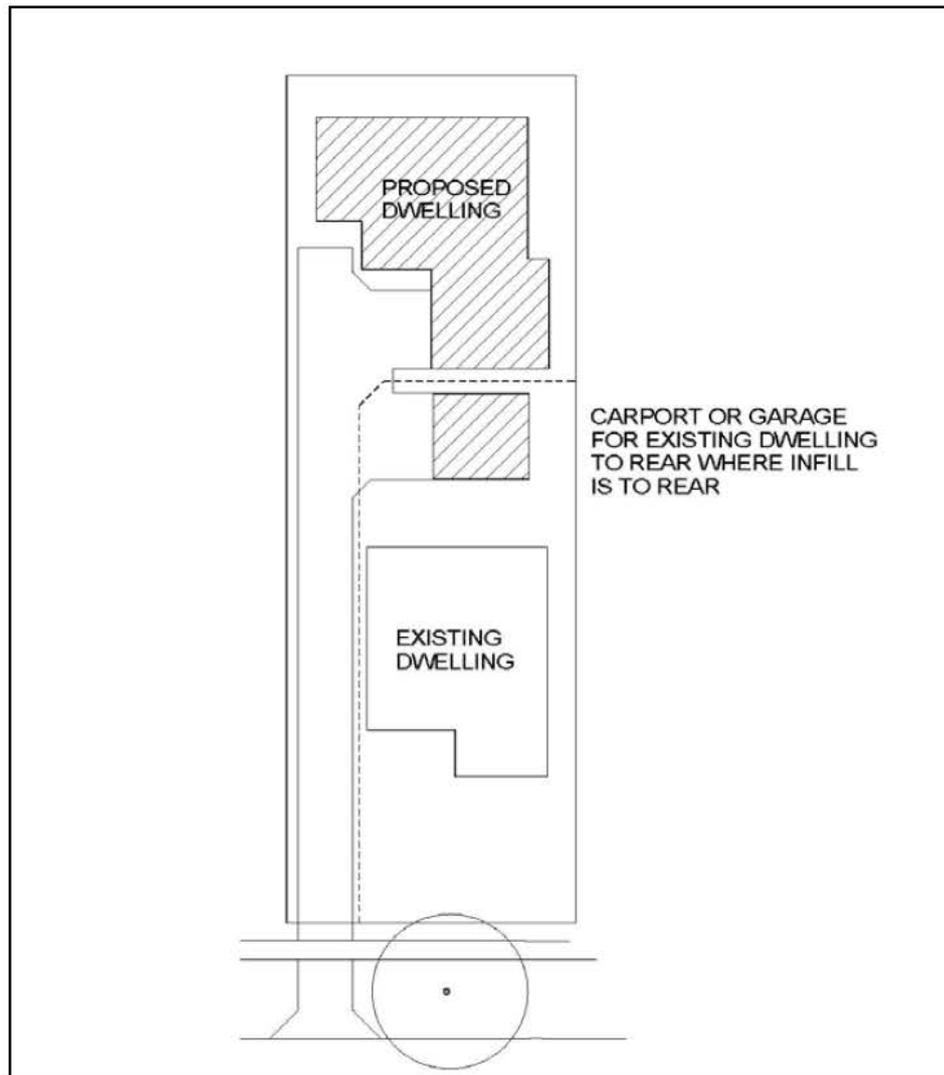


Figure 22 – Example of Infill Development

Building Height

- a) The wall height of the new dwelling shall not be lower than the wall height of the traditional dwelling at a minimum of 3 metres above natural ground level, where the new dwelling is immediately fronting a street.

Roof Pitch

- a) The roof pitch and roofing materials of the new dwelling shall match the roof pitch and roofing materials of the traditional dwelling.

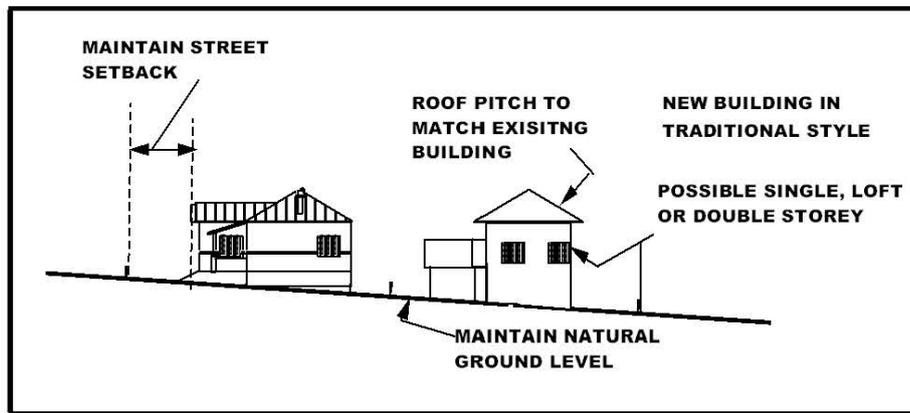


Figure 23 – Example of Infill Development

Infill Development abutting a Rights of Way

- a) New dwellings abutting a Rights of Way (ROW) will generally be required to orient to and use the ROW for primary access. Setbacks to the ROW to be in accordance with the setback requirements of the City's Local Planning Policy Development Abutting Rights of Way.

Carports and Garages

- a) New carports and garages for a traditional dwelling should be incorporated into the design of the infill development to the rear of the traditional dwelling where possible.
- b) Please refer to the section 7.4 Carports & Garages of these guidelines.

7.4 Driveways, Carports and Garages

Objectives

- Prevent carports, garages, and parking areas from dominating the streetscape;
- Ensure that the appearance of carports, garages and parking areas are in keeping with, and respectful to, the dwellings to which they belong;
- Reduce the impact of vehicle access and parking on the existing streetscape by ensuring that any new vehicular access is obtained from the rear of the property, where possible; and
- Reduce the impact of parking structures on the existing streetscape by ensuring that such structures are located at the rear and side of properties.
- To limit the area required for vehicle access to maintain landscaped gardens and streetscape.

7.4.1. Vehicle Access

- a) Vehicle access and parking shall be from the rear access lane (right-of-way) where possible.

Character Retention in Mount Lawley and Menora Heritage Area

Location and Setbacks

- a) Carports and garages shall be located to the rear of dwellings, or alternatively, to the side of dwellings setback behind the predominant building line;
- b) Garages shall be setback a minimum of 0.5 metres behind the predominant building line;
- c) Garages shall not be located in front setback areas;
- d) Carports may be considered in front setback areas, but only where no alternative locations exist, a minimum setback of 1.5 metres from the primary street is maintained, and where the proposal meets the objectives of these guidelines. Such carports shall not be fitted with any style of roller or tilt-up panel door; and
- e) Carports and garages should be set back from the side boundary where possible. Garages shall not be located in the front setback area of the character street; and

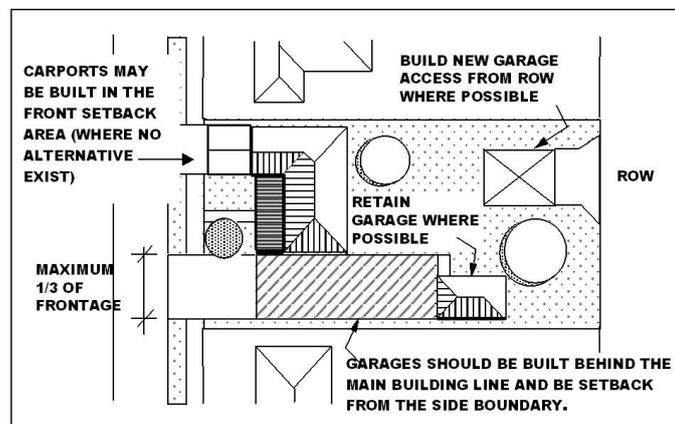


Figure 24 – Location of Carports and Garages

7.4.2. Design

- a) Carports and garages shall be of the same style, design and materials, roof pitch (to a minimum of 25 degrees) and form to the traditional dwelling to which it belongs;
- b) Where carports are considered appropriate in front setback areas (refer above), carports shall be open in style and allow an unobstructed view of the dwelling from the street;
- c) Carports and garages shall have a maximum width of 5.5 metres (internal) or one-third the frontage of the dwelling (whichever is the lesser);
- d) Open-style doors may be supported on carports if they match the dwelling's fencing infill (where applicable) and keep clear views of the traditional dwelling and garden. Solid sectional doors are not permitted.

Note: Sectional open-style doors are generally not supported because their framing obstructs views of the dwelling and garden.

- e) Carports and garages shall have a maximum plate height of 2.7 metres; and
- f) Where a wall is permitted to be located on the boundary, that wall shall be constructed as a traditional parapet wall (refer Figure 14).

Character Retention in Mount Lawley and Menora Heritage Area

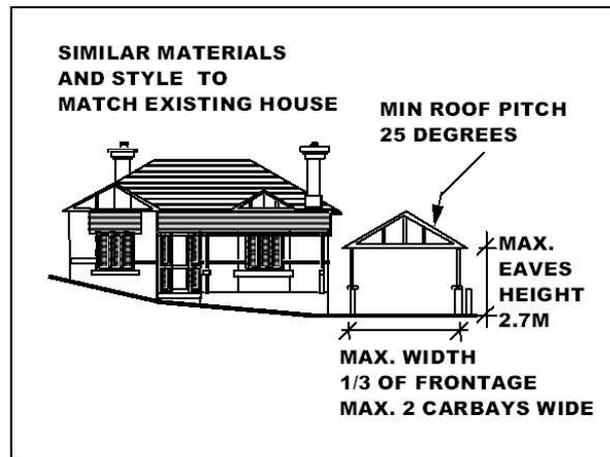


Figure 25 – Built Form of Carports and Garages

7.4.3. Crossovers and Verges

- a) A maximum of one crossover per lot per street frontage shall be permitted;
- b) Crossovers shall be restricted to a maximum of one-third the width of the front boundary;
- c) In the case of infill development, the crossover to the street shall be shared between dwellings; and
- d) No verges shall be paved or densely landscaped. Natural low groundcover is considered to be the only appropriate verge treatment. Mulch alone will not be permitted.

7.4.4 Driveways

- a) Driveways widths are limited to the width necessary to provide vehicle access to the parking bays required for the dwelling, and should not exceed 1/3 of the lot frontage;
- b) Driveways may be constructed of brick paving or concrete.
- c) Where parking bays (including within carports) are provided parallel to the street, these are to be limited to the minimum width necessary under AS2890.1, and are to be provided with adequate landscaping to minimise their visibility from the street

7.5 Fences and Gardens

Objectives

- Recognise the important contribution that fences and gardens make to the streetscape;
- Retain and maintain open front gardens;
- Ensure the retention and conservation of traditional fences where these occur;

Character Retention in Mount Lawley and Menora Heritage Area

- Ensure new fencing forward of the building are of a design, material and colour that is complementary to the style and character of the area; and
- Ensure new fencing forward of the building are of a design, material and colour that is complementary to the dwelling to which it belongs.

7.5.1. Fencing Characteristics and Design Standards

Mount Lawley

Low or open-style front fencing is the predominant fencing characteristic of the Mount Lawley Heritage Protection Areas (Refer Part 5 Residential Character Analysis – Mount Lawley Heritage Protection Area – Mount Lawley Streetscapes).

Fencing is to comply with the following provisions:

- a) Fencing shall be compatible with the style and character of the dwelling in terms of design and detail;
- b) Fencing must reflect a traditional style, incorporating capped piers and infill panels designed in a manner consistent with traditional detailing. 'Blade' or horizontal style infill is not a traditional detail;
- c) Solid fences or screen walls forward of the predominant building line shall not exceed 750mm in height;
- d) Open-style fences forward of the predominant building line may be constructed to 1200mm high above natural ground level;
- e) The height of any open-style fencing may be increased to a maximum of 1800mm above natural ground level, but only where the fencing is constructed in high quality materials, such as wrought-iron infill (rather than timber picket infill) (refer Figure 26)

Menora

Open front gardens with low masonry fences or an absence of fences is the predominant fencing characteristic of the Menora Heritage Protection Area (Refer Part 5 Residential Character Analysis – Menora Heritage Protection Area - Menora Streetscapes).

Fencing is to comply with the following provisions:

- a) Fencing forward of the predominant building line will not be permitted, unless it is a characteristic of the immediate traditional streetscape. Masonry fencing to a maximum height of 750mm will be considered in these instances;
- b) Where higher fencing is permitted as it is a characteristic of the immediate traditional streetscape, fencing must reflect a traditional style, incorporating capped piers and infill panels designed in a manner consistent with traditional detailing;
- c) Fencing shall be compatible with the style and character of the dwelling in terms of design and detail.

Character Retention in Mount Lawley and Menora Heritage Area

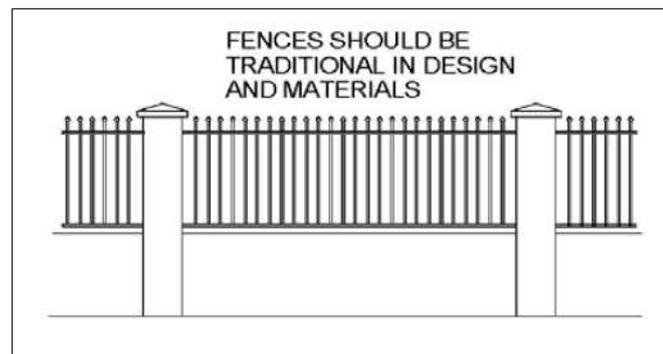


Figure 26 – Example of Open-Style Fencing

7.5.2. Garden Design

- a) Existing front gardens, mature trees, and street trees shall be retained and maintained;
- b) Where trees are to be removed, the applicant shall demonstrate justification for removal, and satisfy the City that alternative measures such as pruning are impractical; and
- c) Where mature trees are to be removed, the applicant should plant and maintain suitable replacements elsewhere on the site. Existing front gardens, mature trees, and street trees shall be retained and maintained;

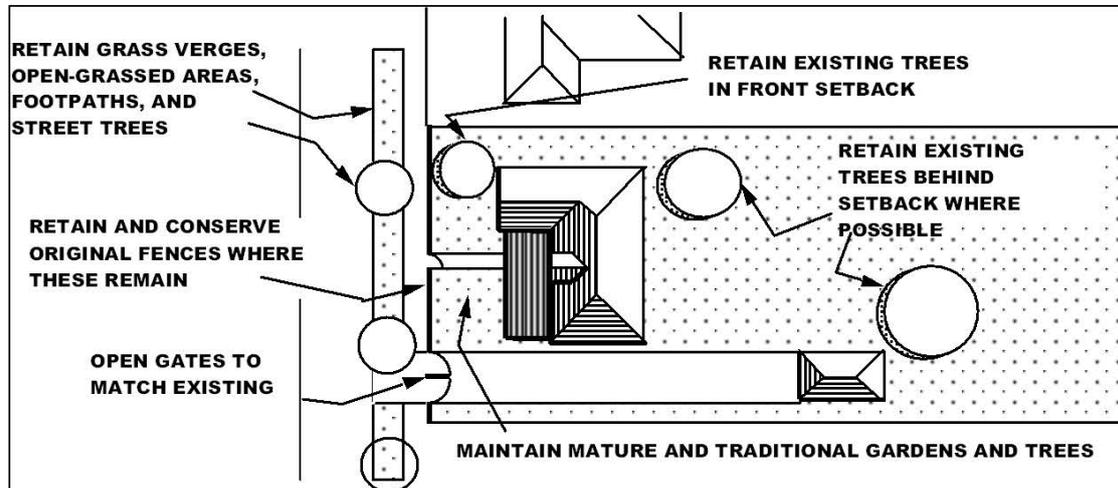


Figure 27 – Example of Traditional Garden Design

8. EXEMPTIONS

The exemptions listed below do not apply where:

- a referral to the Metropolitan Region Scheme under the Instrument of Delegation is required prior to determination; or

- the bushfire requirements of the Planning and Development (Local Planning Schemes) Regulations 201 apply.
- a) Development approval is not required for works if — the works are of a class specified in Column 1 of an item in the Table; and
- b) if conditions are set out in Column 2 of the Table opposite that item — all of those conditions are satisfied in relation to the works.

Column 1 Works	Column 2 Conditions
<p>The following Incidental Structures:</p> <ul style="list-style-type: none"> • Satellite dish; • Air conditioner; • Solar panels; • Flagpole • Pergola or Shade Sail; • Screening; and • Clothes line. 	<p>Unless the development is located:</p> <ul style="list-style-type: none"> • at a place listed on the Heritage List or State Register of Heritage Places.; or • within the front setback area (or attached to the front facing portion of a building including the roof) of land within the Heritage Area.
<p>The following Incidental Structures:</p> <ul style="list-style-type: none"> • Swimming Pools – below ground for private use only; and • Letterboxes. 	<ul style="list-style-type: none"> • The works are not located at a place listed on the Heritage List or State Register of Heritage Places. • The works are not located within the front setback area of land within the Heritage Area
<p>The erection or installation of a flagpole.</p>	<ul style="list-style-type: none"> • The height of the flagpole is no more than 6 m above the natural ground level. • The flagpole is no more than 200 mm in diameter. • The flagpole is not used for advertising. • There is no more than 1 flagpole on the lot. • The works are not located at a place listed on the Heritage List or State Register of Heritage Places.
<p>Fencing</p>	<p>Only where the fence:</p> <ul style="list-style-type: none"> • Compiles with the requirements of the Scheme and the relevant Local Planning

Character Retention in Mount Lawley and Menora Heritage Area

	<p>Policy, Structure Plan, Activity Centre Plan or Local Development Plan;</p> <ul style="list-style-type: none"> • Complies with the requirements of the Residential Design Codes; • Not located within the primary street setback area of within a Heritage Area, if the fence is visible from the streetscape, it must be cream or white; and • is not located on land included in the Heritage List or State Register of Heritage Places.
<p>The filling of land and/or erection of a retaining wall on the same lot as a single dwelling or a grouped dwelling or a multiple dwelling</p>	<ul style="list-style-type: none"> • The R-Codes apply to the works. • The works comply with the deemed-to-comply provisions of the R-Codes; • The works comply with requirements of the Scheme and relevant provisions of this Policy; • The works are not located at a place listed on the Heritage List or State Register of Heritage Places.
<p>The demolition or removal of a cubbydwelling.</p>	<p>The works are not located at a place listed on the Heritage List or State Register of Heritage Places.</p>
<p>The installation of a water tank.</p>	<ul style="list-style-type: none"> • The water tank is not installed in the street setback area of a building. • The volume of the water tank is no more than 5 000 L. • The height of the water tank is no more than — <ul style="list-style-type: none"> (i) for a tank fixed to a building — the height of the eaves of the building; or (ii) for a tank that is not fixed to a building and is more than 1 m from each boundary of the lot — 2.4 m; or (iii) for a tank that is not fixed to a building and is 1 m or less from a boundary of the lot — 1.8 m. • The works are not located at a place listed on the Heritage List or State Register of Heritage Places.

Character Retention in Mount Lawley and Menora Heritage Area

<p>Internal building work that does not materially affect the external appearance of the building.</p>	<ul style="list-style-type: none"> The works are not located at a place listed on the Heritage List or State Register of Heritage Places.
<p>The modification or provision of external openings (windows or doors) to a building.</p>	<ul style="list-style-type: none"> Where the modification or new window complies with the deemed-to-comply provisions of the Residential Design Codes Replacement is like for like with the same size, design, materials and colours. Where the window isn't like for like the window shall: <ul style="list-style-type: none"> Be located 2m or more behind the predominant building line of the dwelling. Have vertical emphasis. Meaning the height of the window opening is greater than the width. Frame constructed of wide profile aluminum or timber. Frames are to be white or cream in colour or as per approved colour scheme The works are not located at a place listed on the Heritage List or State Register of Heritage Places.
<p>Reroofing of a single dwelling or a grouped dwelling or a multiple dwelling</p>	<ul style="list-style-type: none"> Replacement is like for like with the same form, pitch, design, materials and colours. The works are not located at a place listed on the Heritage List or State Register of Heritage Places.
<p>The erection or installation of, or alterations or additions to, any of the following on the same lot as a single dwelling or a grouped dwelling:</p> <ul style="list-style-type: none"> a pergola; a shade sail; an enclosed or unenclosed patio less than or equal to 20m² area; a garage or outbuilding less than or equal to 20m² area; 	<ul style="list-style-type: none"> The R-Codes apply to the works. The works comply with the deemed-to-comply provisions of the R-Codes; The works comply with requirements of the Scheme and relevant provisions of this Policy; The site is not abutting a secondary street and/or a right of way; The works are not located in the front or sides (or attached to the front or side facing portion of the dwelling) of the existing dwelling and is located at the rear of the dwelling. The works are not located at a place listed on the Heritage List or State Register of Heritage Places.

<p>Demolition or removal of the following structures:</p> <ul style="list-style-type: none"> • Outbuildings with a floor area of less than 25m²; • Patios; • Shade Structures; • Carports; • Air Conditioners; • Private swimming pools and outdoor spas; • Flag poles; and • Water tanks. 	<ul style="list-style-type: none"> • Detached from the dwelling where at the front of a dwelling or located between the dwelling and the side or rear lot boundary of a development site where attached or detached. • The works are not located at a place listed on the Heritage List or State Register of Heritage Places.
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9. DEFINITIONS

Unless otherwise provided for in this Policy, definitions have the same meaning as the Residential Design Codes (R-Codes), Local Planning Scheme No.4 and the *Planning and Development (Local Planning Schemes) Regulations 2015*. The following additional definitions apply to this Policy.

Character Street	<i>Means streets which display 'Original Traditional Lot' layouts and dwellings with traditional architectural styles and garden designs. These streets are shown in Figure 1.</i>
Locality	Means properties within a 75m radius from the centre of the Original Traditional Lot to which the dwelling or addition is located (refer to Figure 13). Dwellings outside of the Inglewood Heritage Area are not included within the 75m Locality area.
Original Traditional Lot	Means the lot area established during the original subdivision of the land.
Predominant Building Line	Is measured from the roof line directly above the front door of the dwelling.

10. OTHER RELEVANT DOCUMENTS

- Local Planning Scheme No.4 Scheme Text
- Planning and Development (Local Planning Schemes) Regulations 2015
- Residential Design Codes of Western Australia
- City of Stirling Heritage List
- State Planning Policy 3.5 Historic Heritage Conservation

OFFICE USE ONLY:

Policy Type: Local Planning Policy
Policy Owner: City Future

Policy No.
Latest adopted review date:

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